

NOTICE
GLENPOOL PLANNING
COMMISSION REGULAR MEETING

A Regular Session of the Glenpool Planning Commission will be held at 6:30 p.m. on Monday, December 11, 2017, at Glenpool City Hall, City Council Chambers, 12205 S. Yukon Ave., 3rd Floor, Glenpool, Oklahoma.

The Planning Commission welcomes comments from citizens of Glenpool who wish to address any item on the agenda. Speakers are requested to complete one of the forms located on the agenda table and return to the Planning Director "PRIOR TO THE CALL TO ORDER"

AGENDA

- A) Call to Order – Richard Watts, Chairman
- B) Roll Call, declaration of quorum – Rick Malone, Secretary; Richard Watts, Chairman
- C) Scheduled Business
 - 1) Discussion and possible action to approve minutes from November 13, 2017.
 - 2) Review and possible action to recommend to the City Council approval, conditional approval, or disapproval of case GZ-266. A request to change the zoning classification from AG to RS-3 on 26.97 acres located on the north side of 151st Street (Hwy 67) approximately ¼ mile east of Elwood Ave.
 - 3) Review and possible action to recommend to the City Council approval, conditional approval, or disapproval of the Final Plat: Glenpool Public School to allow a one lot, one block plat on 15.89 acres located at the southeast corner of 138th Pl. and Elwood Ave.
 - 4) Review and possible action to approve, conditional approve, or disapprove the Site Plan SP-2017-06 (Glenpool Public School) to allow a 50,000 square foot building on 15.89 acres located at the southeast corner of 138th Pl. and Elwood Ave.
 - 5) Discussion and possible action to appoint one Planning Commission member to the TIF Review Committee, pursuant to Sec. 855 of the Local Development Act, Title 62 O.S. Secs. 850, *et seq.*, and as provided by Sec. 2 of Resolution No. 17014. (Lowell Peterson, City Attorney)
 - 6) Review and possible action to approve the 2018 Planning Commission meeting schedule.
- D) Adjournment

This notice and agenda was posted at Glenpool City Hall Building, 12205 South Yukon Ave, Glenpool, Oklahoma on _____, at _____ am/pm.

Signed: _____
City Planner

MINUTES
GLENPOOL PLANNING COMMISSION REGULAR
MEETING

A Regular Session of the Glenpool Planning Commission was held at 6:30 p.m. on Monday, November 13, 2017, at Glenpool City Hall, City Council Chambers, 12205 S. Yukon Ave., 3rd Floor, Glenpool, Oklahoma.

Commissioners present:

- Richard Watts, Chairman
- Joyce Calvert, Vice-Chairman
- Shayne Buchanan, Commissioner
- Debra Cutsor, Commissioner
- Keith Robinson, Commissioner

Staff present:

- Lynn Burrow, Community Development Director
- Rick Malone, City Planner
- Lowell Peterson, City Attorney

Also present were:

Mr. Rutledge, Mr & Mrs. Alan Woodcock, Mr. Duane Snapp, Mr. John Lindsay, Mr. Eric Sack,
Attorney for Mr. Lindsay, Mr. Greg Ables, Mr. JR Donelson, Mr. George Sharp and other
interested parties.

- A)** Chairman Watts called the meeting to order at 6:58 p.m.
- B)** Rick Malone, secretary called the roll, Chairman Watts declared a quorum present
- C)** Scheduled Business

- 1) Discussion and possible action to approve minutes from October 9, 2017.

MOTION: Commissioner: Cutsor to approve the minutes as written.
SECOND: Commissioner: Watts, Calvert, Buchanan, Cutsor, Robinson
TO: Approve the minutes as written.
FOR: Richard Watts, Chairman
 Joyce Calvert, Vice-Chairman
 Shayne Buchanan, Commissioner
 Debra Cutsor, Commissioner
 Keith Robinson, Commissioner

- 2) Review and possible action to recommend to the City Council approval, conditional approval, or disapproval of case GZ-266, a request to change the zoning classification from AG to RS-3 on 26.97 acres & AG to CS on 2.85 acres located on the north side of 151st Street (Hwy 67) approximately ¼ mile east of Elwood Ave.

MOTION: Commissioner: Robinson
SECOND: Commissioner: None
TO: Motion died due to a lack of a second.

FOR: Richard Watts, Chairman
 Joyce Calvert, Vice-Chairman
 Shayne Buchanan, Commissioner
 Debra Cutsor, Commissioner
 Keith Robinson, Commissioner

3) Review and possible action to approve Lot Split: GLS-223. A request to split an unplatte 130' x 310' tract into two lots (130'x100' & 130'x210'). This property is located approximately 1,800 feet north of the northeast corner of 151st St. and S. 26th W.Ave.

MOTION: Commissioner: Calvert

SECOND: Commissioner: Robinson

TO: Approve GLS-223 subject to TAC and Staff recommendations.

FOR: Richard Watts, Chairman
 Joyce Calvert, Vice-Chairman
 Shayne Buchanan, Commissioner
 Debra Cutsor, Commissioner
 Keith Robinson, Commissioner

4) Review and possible action to recommend to the City Council approval, conditional approval, or disapproval of the Final Plat: (ELM POINTE) a 10.76-acre parcel located at the northwest corner of 141st St. and Peoria Ave. into 8 lots and one block.

MOTION: Commissioner: Cutsor

SECOND: Commissioner: Calvert

TO: Approve the Final Plat for Elm Pointe subject to TAC and Staff recommendations.

FOR: Richard Watts, Chairman
 Joyce Calvert, Vice-Chairman
 Shayne Buchanan, Commissioner
 Debra Cutsor, Commissioner
 Keith Robinson, Commissioner

5) Review and possible action to recommend to the City Council approval, conditional approval, or disapproval of the updates of the Glenpool Comprehensive Plan.

MOTION: Commissioner: Cutsor

SECOND: Commissioner: Robinson

TO: Recommend approval of the updates of the Glenpool Comprehensive Plan.

FOR: Richard Watts, Chairman
 Joyce Calvert, Vice-Chairman
 Shayne Buchanan, Commissioner
 Debra Cutsor, Commissioner
 Keith Robinson, Commissioner

6) Review and possible action to recommend to the City Council approval, conditional approval, or disapproval of the update of the Glenpool Zoning Code.

MOTION: Commissioner: Cutsor

SECOND: Commissioner: Watts

TO Recommend approval of the updates of the Glenpool Zoning Code.

FOR: x Richard Watts, Chairman

x Joyce Calvert, Vice-Chairman

 Shayne Buchanan, Commissioner

x Debra Cutsor, Commissioner

x Keith Robinson, Commissioner

7) Review and possible action to recommend to the City Council approval, conditional approval, or disapproval of the update of the Glenpool Subdivision Regulations.

MOTION: Commissioner: Robinson

SECOND: Commissioner: Cutsor

TO Recommend approval of the updates of the Glenpool Subdivision Regulations.

FOR: x Richard Watts, Chairman

x Joyce Calvert, Vice-Chairman

 Shayne Buchanan, Commissioner

x Debra Cutsor, Commissioner

x Keith Robinson, Commissioner

D) Adjournment

- Meeting was adjourned at 8:10 p.m.

Signature: Chairman Watts

ATTEST:

Rick Malone, Secretary

STAFF REPORT

TO: **Glenpool Planning Commission**

FROM: **Rick Malone, City Planner**

DATE: **December 11, 2017**

RE: **GZ-266:** Request for approval of a Zone Change on 26.97 acres from AG (Agriculture District) to RS-3 (Residential Single Family High Density District) on the following described property: The request to rezone 2.85 acres from AG to CS (Commercial Shopping District) has been withdrawn by the applicant.

SIZE: 26.97 Total Acres

LOCATED: North and east of the northeast corner of 151st Street (Highway 67) and Elwood Ave.

LEGAL DESCRIPTION: (AG to RS-3)

A TRACT OF LAND THAT IS PART OF THE EAST HALF (E/2) OF THE SOUTHWEST QUARTER (SW/4) OF SECTION THIRTEEN (13), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE SW/4 OF SAID SECTION 13; THENCE NORTH 01°08'05" WEST ALONG THE EAST LINE OF THE SW/4 A DISTANCE OF 360.64 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88°38'10" WEST 662.06 FEET TO A POINT ON THE EAST LINE OF THE SW/4 OF THE SE/4 OF THE SW/4 OF SECTION 13; THENCE NORTH 01°07'50" WEST ALONG SAID EAST LINE.55 FEET TO THE NORTHEAST CORNER OF THE SW/4 OF THE SE/4 OF THE SW/4; THENCE SOUTH 88°35'44" WEST ALONG THE NORTH LINE OF THE SW/4 OF THE SE/4 OF THE SW/4 A DISTANCE OF 374.26 FEET TO THE NORTHEAST CORNER OF LOT 2, BLOCK 1, ANGLICAN CHURCH OF THE RESURRECTION, FILED AS PLAT #6373; THENCE SOUTH 01°07'36" EAST 350.15 FEET TO THE SOUTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 88°36'13" WEST 287.78 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2 AND THE WEST LINE OF THE E/2 OF THE SW/4 OF SECTION 13; THENCE NORTH 01°07'35" WEST ALONG SAID WEST LINE 1010.83 FEET; THENCE NORTH 88°34'51" EAST A DISTANCE OF 1323.99 FEET TO A POINT ON THE EAST LINE OF THE SW/4; THENCE SOUTH 01°08'05" EAST ALONG THE EAST LINE OF THE SW/4 A DISTANCE OF 961.70 FEET TO THE POINT OF BEGINNING.

SAID TRACT CONTAINS 1,174,808.93 SQUARE FEET OR 26.97 ACRES.

INTRODUCTION

This application consists of a request to rezone 26.97 acres from AG to RS-3 adjacent to US 67 (151st Street). This site did include a farmhouse which has been removed and the property is vacant. In a previous zoning case GZ-260/PUD 36, the current owners requested rezoning of 67 acres from AG/RS-3 to RS-4 and CG with a companion PUD. On 6/12/17, the Planning Commission voted 2-0 to approve the rezoning and the motion failed due to lack of a majority vote. The companion PUD 36 was therefore moot. On 7/6/17, the City Council voted 2-0 to approve GZ-260 and that motion likewise failed due to lack of a majority vote, and PUD 36 was moot. On 11/13/17 The Planning Commission heard application GZ-266 with the CS component included and a motion was made for approval and the motion did not receive a second. This application was not sent to the City Council because a recommendation from the Planning Commission was not obtained. Since that hearing, the applicant has withdrawn the CS component of the request.

The surrounding property is developed as:

- North: RS-3, Residential Single-Family Subdivisions Glen Village and Glen Village 2
- East: RE, Vacant undeveloped land.
- West: RS-4/PUD 27 Mansfield Lane Addition
- South: AG, Vacant, undeveloped land, outside the city limits of Glenpool, Tulsa County

COMPREHENSIVE PLAN:

The 2030 City of Glenpool Comprehensive Plan designates the subject tract as residential, which is by definition low intensity. Residential zoning requires single family use of less than 5.2 dwelling units per acre to be in conformance with the Plan. The request is for RS-3, which allows for a maximum of 4 dwelling units per acre. The Applicant's concept plan shows 84 single-family lots which will be 3.11 units per acre.

GENERAL INTENSITIES. The 2030 PLAN classifies general land use intensities as follows:

- **Low Intensity.** Low Intensity areas are areas of reduced activity characterized as living areas for residential and related activities and uses. Good accessibility and services are necessary. Zoning classifications included in this intensity category are the AG, and all RE and RS districts.
- RS-3 zoning allows 4 units per acre, which is considered Low Intensity.

STAFF RECOMMENDATION

The proposed zone change is consistent with the guidelines of the City of Glenpool Comprehensive Plan and surrounding uses, and the staff recommends approval of GZ-266 from AG to RS-3 per revised application.

CITY ATTORNEY NOTE:

As the Commission is aware, this application has been filed by the same applicant who submitted an RS-4 and CG application for consideration by the Commission and the City Council in May 2016. Upon denial of the zone change, the applicant took an appeal of that decision to the Tulsa County District Court, as was his right under the applicable statute and our Code. It is important that the Commission gives the current application, RS-3 only (no CG), a fair and complete review with no consideration of the previous application or the current legal action. It is indisputable that RS-3 is consistent with the Comprehensive Plan and this application is drafted to allow a fewer number of units per acre than would otherwise be allowed in an RS-3 zone. The City Attorney concurs in the recommendation or approval.

STAFF EXHIBITS

1. Case Map
2. Application

Richard Malone

From: Ryan McCarty <ryan@selectdesignok.com>
Sent: Wednesday, November 22, 2017 11:25 AM
To: Richard Malone
Cc: 'Robert Lemons'
Subject: RE: GZ-266

Thanks Rick – we would like to proceed with the 12/11/2017 meeting for Residential Zoning only and withdraw the Commercial Zoning request.

FYI – I just sent another email about the signage.

Ryan McCarty
President

Select Design
11063D S Memorial Dr #351
Tulsa, OK 74133
Phone: (918) 798-8356
www.selectdesignok.com

From: Richard Malone [mailto:rmalone@cityofglenpool.com]
Sent: Tuesday, November 21, 2017 3:07 PM
To: ryan@selectdesignok.com
Subject: GZ-266

Ryan:

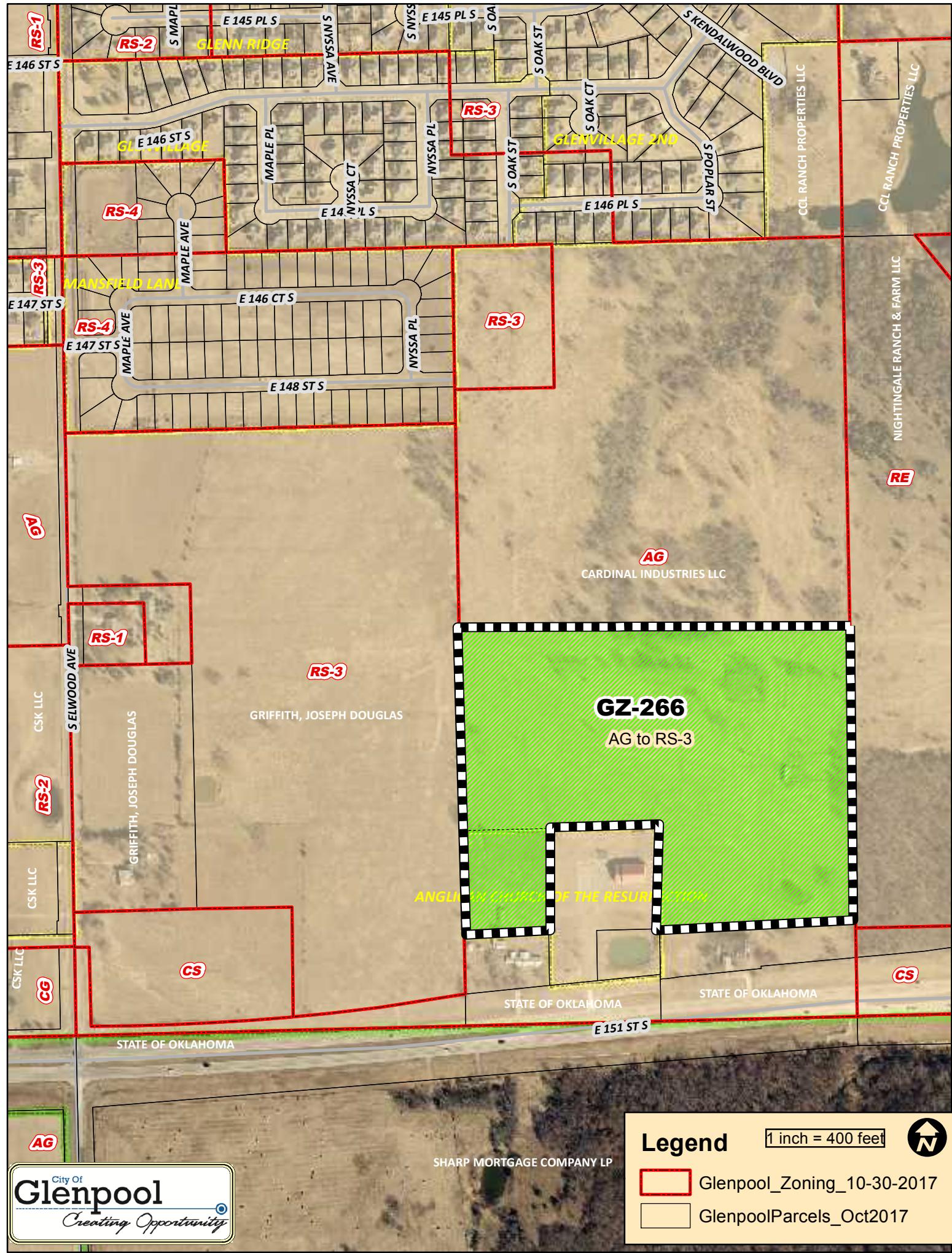
I talked with Lowell, we do not need to readvertise if all you want to do is withdraw the CS portion of your application and it is scheduled to be heard by the Planning Commission on 12/11/17.

PS: Did you receive my email from yesterday about the signs? Please advise.

Thanks,

Rick Malone
City Planner
(918) 209-4617
rmalone@cityofglenpool.com





Lombu

CITY OF GLENPOOL PLANNING COMMISSION
 ZONING PUD PUD AMENDMENT

CASE NUMBER 52-2610

12205 S. Yukon Ave - Glenpool, Oklahoma 74033 - (918) 209-4610 - FAX (918) 209-4611

www.glenpoolonline.com

APPLICATION INFORMATION

RECEIVED BY: Bob DATE FILED: 8/6/12 TAC DATE: 11/13/12 PC DATE: 11/13/12 CITY COUNCIL DATE: 12/12/12

RES NON-RES COMBO RELATED ZONING OR PUD #: _____ BUILDING PERMIT APPLICATION NUMBER _____

GLENPOOL CITY LIMITS NEIGHBORHOOD ASSOCIATIONS: _____

SUBJECT PROPERTY INFORMATION

ADDRESS OR DESCRIPTIVE LOCATION: N. Side of S. 14.67 - E. of Elwood TRACT SIZE: 2.85 Ac.

LEGAL DESCRIPTION: See Attached Exhibit

PRESENT USE: Vacant PRESENT ZONING: AG

INFORMATION ABOUT YOUR PROPOSAL

PROPOSED NEW ZONING: CS DEV. AREAS AFFECTED BY PUD AMENDMENT: _____ PUD PROPOSAL ATTACHED Y

PROPOSED USE: All uses under CS Zoning NATURE OF PUD AMENDMENT: _____

APPLICANT INFORMATION		PROPERTY OWNER INFORMATION	
NAME <u>Select Design</u>		NAME <u>Cardinal Industries, LLC</u>	
ADDRESS <u>11063D S. Memorial Dr. #351</u>		ADDRESS <u>2850 East 101st Street</u>	
CITY, ST, ZIP <u>Tulsa, OK 74133</u>		CITY, ST, ZIP <u>Tulsa, OK 74137</u>	
DAYTIME PHONE <u>918-798-8356</u>		DAYTIME PHONE <u>918-299-0396</u>	
EMAIL <u>ryan@selectdesigns.gnok.com</u>		EMAIL <u>redevelopment@cardindust</u>	
FAX <u></u>		FAX <u></u>	
I, THE UNDERSIGNED APPLICANT, CERTIFY THAT THE INFORMATION ON THIS APPLICATION IS TRUE AND CORRECT.			
SIGNATURE & DATE: <u>9/27/2012</u>			

DOES OWNER CONSENT TO THIS APPLICATION N. WHAT IS APPLICANT'S RELATIONSHIP TO OWNER? Consultant

APPLICATION FEES				
BASE APPLICATION FEE		\$		
ADDITIONAL FEE	ACRES x SLIDING FEE	=	\$	
NEWSPAPER PUBLICATION TO BE BILLED TO APPLICANT		\$		
SIGNS		\$50 X	=	\$
300' PROPERTY OWNERS MAILING & POSTAGE		\$1.00 per Name	=	\$
RECEIPT NUMBER:			TOTAL AMOUNT DUE	

APPLICATION FEES IN WHOLE OR PART WILL NOT BE REFUNDED AFTER NOTIFICATION HAS BEEN GIVEN.

DISPOSITION

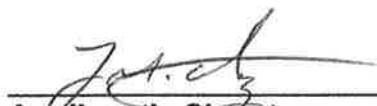
STAFF RECOMMENDATION:			
PC RECOMMENDATION:	PC ACTION	DATE/VOTE:	
CITY COUNCIL ACTION	DATE/VOTE	ORDINANCE NO:	
PLAT NAME	PLAT WAIVER <input type="checkbox"/> Y <input checked="" type="checkbox"/> N		

PLATTING REQUIREMENT

For the purposes of providing a proper arrangement of streets and assuring the adequacy of open spaces for traffic, utilities, and access of emergency vehicles, commensurate with the intensification of land use customarily incident to a change of zoning, a platting requirement is established as follows:

For any land which has been rezoned to a zoning classification other than AG upon application of a private party or for any land which has been granted a special exception by the Board of Adjustment as enumerated within Use Units 2, 4, 5, 8, and 20, no building permit or zoning clearance permit shall be issued until that portion of the tract on which the permit is sought has been included within a subdivision plat or replat, as the case may be, submitted to and approved by the Planning Commission, and filed of record in the office of the County Clerk where the property is situated. Provided that the Planning Commission, pursuant to their exclusive jurisdiction of subdivision plats, may remove the platting requirement upon a determination that the above stated purposes have been achieved by previous platting or could not be achieved by a plat or replat.

I hereby certify that I have read and understand the above requirements and that I will plat, replat or have the platting requirements waived for the subject property in case number _____.



Applicant's Signature

9/27/2017

Date

Glenpool Planning Commission Case Number: _____

<ul style="list-style-type: none">• Technical Advisory Committee (TAC) Meeting Date: _____ Friday, _____ 10:00 a.m. Glenpool Community Development Conference Room Glenpool City Hall/Conference Center 2nd Floor 12205 South Yukon Ave, Glenpool, Oklahoma 74033
<ul style="list-style-type: none">• Glenpool Planning Commission: Date: _____ Monday, _____ 6:30 p.m. Glenpool City Council Chambers Glenpool City Hall/Conference Center 3rd Floor 12205 South Yukon Ave, Glenpool, Oklahoma 74033
<ul style="list-style-type: none">• Glenpool City Council: Date: _____ Monday, _____ 7:00 p.m. Glenpool City Council Chambers Glenpool City Hall/Conference Center 3rd Floor 12205 South Yukon Ave, Glenpool, Oklahoma 74033

A person knowledgeable of the application and the property must attend the meetings listed above to represent the application. Site Plans and development proposals should be submitted at the time of application. Photos or renderings may be presented at the hearing.

CITY OF GLENPOOL PLANNING COMMISSION

CASE NUMBER _____

ZONING PUD PUD AMENDMENT

12205 S. Yukon Ave - Glenpool, Oklahoma 74033 - (918) 209-4610 - FAX (918) 209-4611

www.glenpoolonline.com

APPLICATION INFORMATION

RECEIVED BY: _____ DATE FILED: _____ TAC DATE: _____ PC DATE: _____ CITY COUNCIL DATE: _____

RES NON-RES COMBO RELATED ZONING OR PUD #: _____ BUILDING PERMIT APPLICATION NUMBER: _____

GLENPOOL CITY LIMITS NEIGHBORHOOD ASSOCIATIONS: _____

SUBJECT PROPERTY INFORMATION

ADDRESS OR DESCRIPTIVE LOCATION: N. Side of S.H. 67 - 1/4 mile E. of Elwood TRACT SIZE: 26.97 Acre

LEGAL DESCRIPTION: See Attached Exhibit

PRESENT USE: Vacant PRESENT ZONING: AC

INFORMATION ABOUT YOUR PROPOSAL

PROPOSED NEW ZONING: RS-3 DEV. AREAS AFFECTED BY PUD AMENDMENT: _____ PUD PROPOSAL ATTACHED

PROPOSED USE: Single-Family Residential NATURE OF PUD AMENDMENT: _____

APPLICANT INFORMATION		PROPERTY OWNER INFORMATION	
NAME	<u>Select Design</u>	NAME	<u>Cardinal Industries, LLC</u>
ADDRESS	<u>110631 S. Memorial Dr. #351</u>	ADDRESS	<u>2850 East 101st Street</u>
CITY, ST, ZIP	<u>Tulsa, OK 74133</u>	CITY, ST, ZIP	<u>Tulsa, OK 74137</u>
DAYTIME PHONE	<u>918-798-8356</u>	DAYTIME PHONE	<u>918-259-0396</u>
EMAIL	<u>ryan@selectdesignok.com</u>	EMAIL	<u>raddevelopment@comcast.net</u>
FAX		FAX	
I, THE UNDERSIGNED APPLICANT, CERTIFY THAT THE INFORMATION ON THIS APPLICATION IS TRUE AND CORRECT.			
SIGNATURE & DATE:	<u>July 27, 2017</u>		

DOES OWNER CONSENT TO THIS APPLICATION N. WHAT IS APPLICANT'S RELATIONSHIP TO OWNER? Co-Owner

APPLICATION FEES			
BASE APPLICATION FEE		\$	
ADDITIONAL FEE	ACRES x SLIDING FEE	=	\$ APPLICATION SUBTOTAL
NEWSPAPER PUBLICATION TO BE BILLED TO APPLICANT		\$	
SIGNS	\$50 X	=	\$
300' PROPERTY OWNERS MAILING & POSTAGE	\$1.00 per Name	=	\$ NOTICE SUBTOTAL
RECEIPT NUMBER:			\$ TOTAL AMOUNT DUE

APPLICATION FEES IN WHOLE OR PART WILL NOT BE REFUNDED AFTER NOTIFICATION HAS BEEN GIVEN.

DISPOSITION

STAFF RECOMMENDATION:		
PC RECOMMENDATION:	PC ACTION	DATE/VOTE:
CITY COUNCIL ACTION	DATE/VOTE	ORDINANCE NO:
PLAT NAME	PLAT WAIVER <input type="checkbox"/> Y <input type="checkbox"/> N	

PLATTING REQUIREMENT

For the purposes of providing a proper arrangement of streets and assuring the adequacy of open spaces for traffic, utilities, and access of emergency vehicles, commensurate with the intensification of land use customarily incident to a change of zoning, a platting requirement is established as follows:

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I hereby certify that I have read and understand the above requirements and that I will plat, replat or have the platting requirements waived for the subject property in case number _____.



Applicant's Signature

9/27/2017

Date

Glenpool Planning Commission Case Number: _____

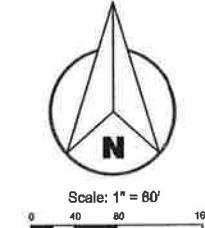
- Technical Advisory Committee (TAC) Meeting Date: _____ Friday, _____ 10:00 a.m.
Glenpool Community Development Conference Room
Glenpool City Hall/Conference Center 2nd Floor
12205 South Yukon Ave, Glenpool, Oklahoma 74033
- Glenpool Planning Commission: Date: _____ Monday, _____ 6:30 p.m.
Glenpool City Council Chambers
Glenpool City Hall/Conference Center 3rd Floor
12205 South Yukon Ave, Glenpool, Oklahoma 74033
- Glenpool City Council: Date: _____ Monday, _____ 7:00 p.m.
Glenpool City Council Chambers
Glenpool City Hall/Conference Center 3rd Floor
12205 South Yukon Ave, Glenpool, Oklahoma 74033

A person knowledgeable of the application and the property must attend the meetings listed above to represent the application. Site Plans and development proposals should be submitted at the time of application. Photos or renderings may be presented at the hearing.

Glenpool, Oklahoma

Conceptual Site Plan

RS-3 ZONING



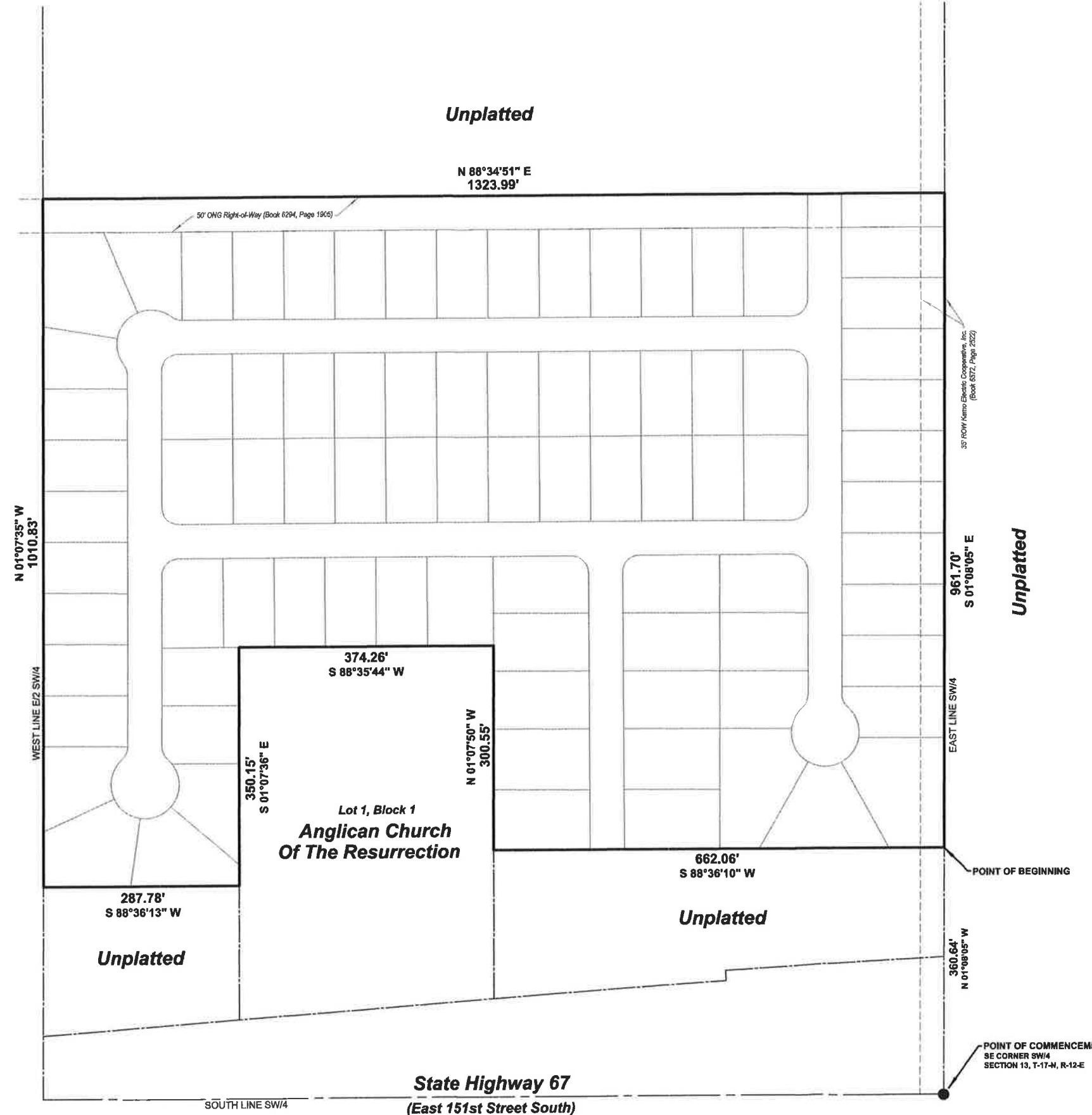
LEGAL DESCRIPTION

A TRACT OF LAND THAT IS PART OF THE EAST HALF (E/2) OF THE SOUTHWEST QUARTER (SW/4) OF SECTION THIRTEEN (13), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE SW/4 OF SAID SECTION 13; THENCE NORTH 01°08'05" WEST ALONG THE EAST LINE OF THE SW/4 A DISTANCE OF 360.64 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88°36'10" WEST 662.08 FEET TO A POINT ON THE EAST LINE OF THE SW/4 OF THE SE/4 OF THE SW/4 OF SECTION 13; THENCE NORTH 01°07'50" WEST ALONG SAID EAST LINE 300.55 FEET TO THE NORTHEAST CORNER OF THE SW/4 OF THE SE/4 OF THE SW/4; THENCE SOUTH 88°35'44" WEST ALONG THE NORTH LINE OF THE SW/4 OF THE SE/4 OF THE SW/4 A DISTANCE OF 374.26 FEET TO THE NORTHEAST CORNER OF LOT 2, BLOCK 1, ANGLICAN CHURCH OF THE RESURRECTION, FILED AS PLAT #6373; THENCE SOUTH 01°07'36" EAST 350.15 FEET TO THE SOUTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 88°36'13" WEST 287.78 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2 AND THE WEST LINE OF THE E/2 OF THE SW/4 OF SECTION 13; THENCE NORTH 01°07'35" WEST ALONG SAID WEST LINE 1010.83 FEET; THENCE NORTH 88°34'51" EAST A DISTANCE OF 1323.99 FEET TO A POINT ON THE EAST LINE OF THE SW/4; THENCE SOUTH 01°08'05" EAST ALONG THE EAST LINE OF THE SW/4 A DISTANCE OF 961.70 FEET TO THE POINT OF BEGINNING,

SAID TRACT CONTAINS 1,174,808.93 SQUARE FEET OR 26.97 ACRES.

BASIS OF BEARING - THE EAST LINE OF THE SW 1/4 OF SECTION 13 AS N 01°08'05" W.



TO: THE GLENPOOL PLANNING COMMISSION
FROM: RICK MALONE, CITY PLANNER
RE: FINAL SUBDIVISION PLAT OF "GLENPOOL PUBLIC SCHOOLS"
DATE: December 11, 2017

BACKGROUND:

GEODECA representing Glenpool Public School has submitted the Final Subdivision Plat for "GLENPOOL PUBLIC SCHOOL" for Staff and Planning Commission and City Council review and approval. This property is located at the southeast corner of E. 138th Place S. and Elwood Ave. The 15-acre tract is being subdivided into one lot, one block, and one Reserve Area.

ZONING:

This property is currently zoned CS (Commercial Shopping District) and the proposed lot size is consistent with the underlying zoning.

TAC MEETING AND STAFF REVIEW: 12/1/17

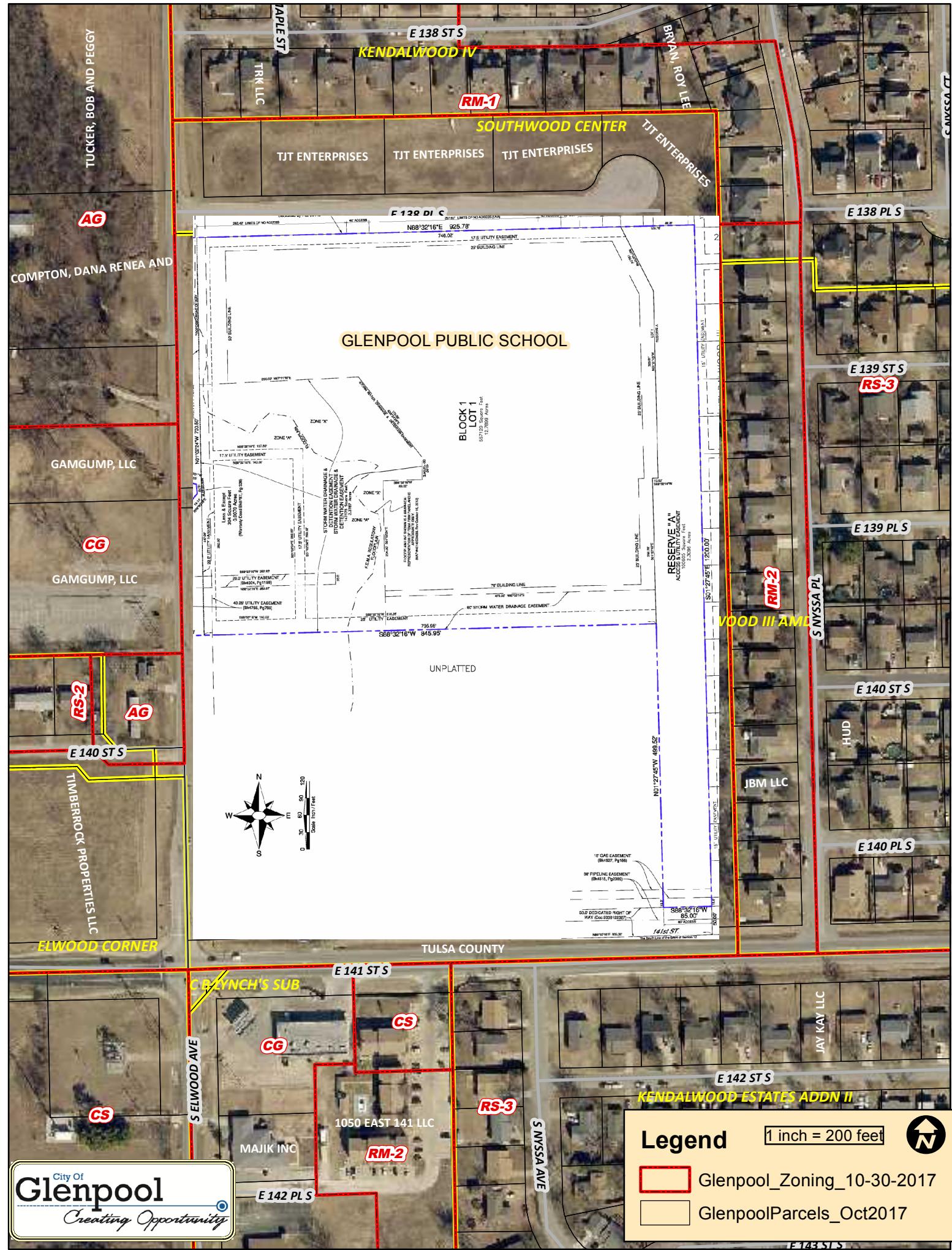
- Water service to be provided by City of Glenpool
- Sanitary sewer service to be provided by City of Glenpool.
- A Certification of Non-Development from Corporation Commission is required prior to Final Subdivision Plat Release for recording.
- Fire Chief approval concerning fire hydrant locations and fire lanes necessary for Site Plan approval.
- ADA compliant sidewalks required.
- "Bus-loop" roadway to be constructed within a separate lot or reserve area and constructed to City standard design criteria & specifications so it can be dedicated to the City at a later date.
- Site Plan application must be approved by the Planning Commission prior to issuing any building permit for the project
- Need ODEQ permit applications for the public water and sewer extensions necessary to serve the project.
- Assigned street address for Lot 1, Block 1: 1140 E. 138th Place.
- As-built plans for all public improvements to be required prior to Certificate of Occupancy issued for the building.
- Earth Change Permit and ODEQ NOI is required prior to start of construction

RECOMMENDATION:

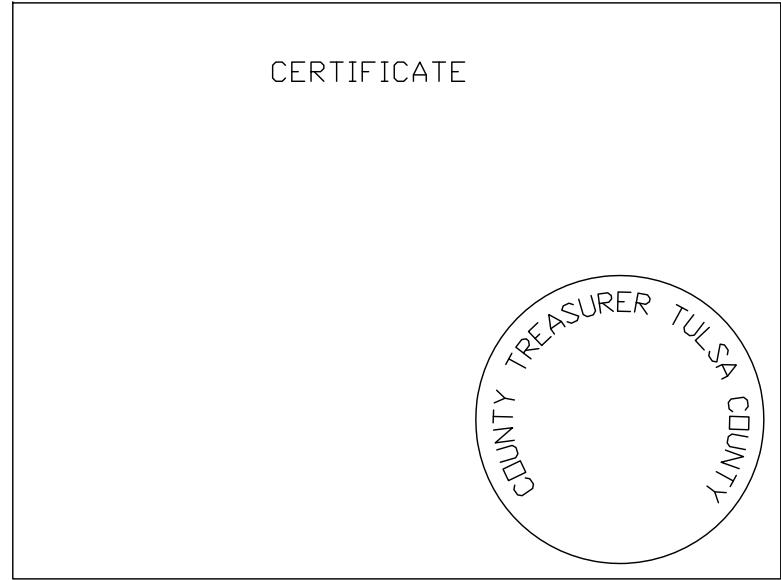
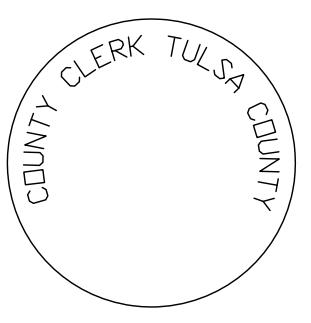
Staff recommends conditional approval of the Final Subdivision Plat of "GLENPOOL PUBLIC SCHOOL" subject to the above listed conditions of the Staff and TAC review of December 1, 2017.

ATTACHMENTS:

1. Case Map
2. Plat of "GLENPOOL PUBLIC SCHOOL".



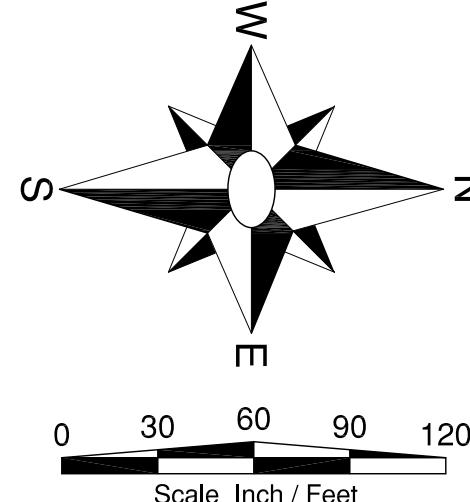
City Of
Glenpool
Creating Opportunity 



GLENPOOL PUBLIC SCHOOLS ADDITION

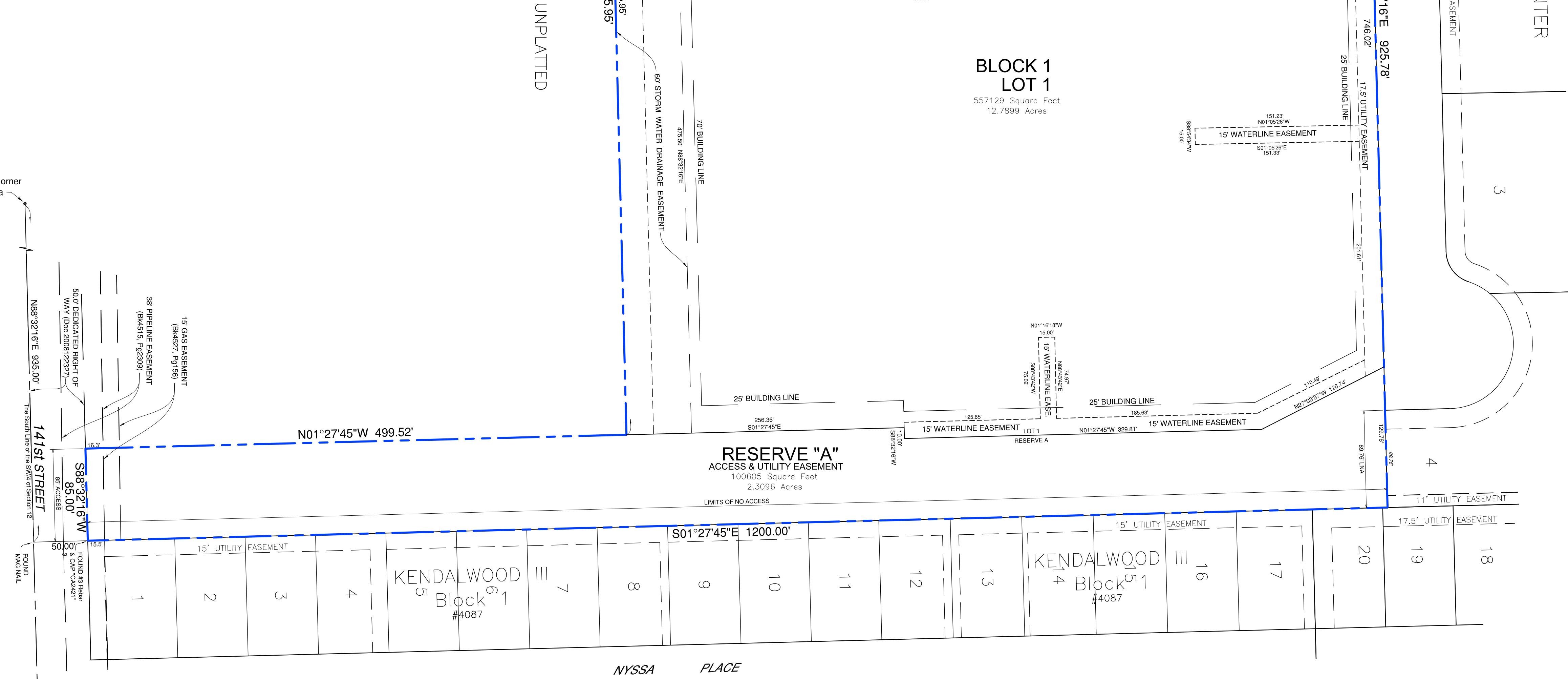
An Addition to the City of Glenpool
being a subdivision of Southwest Quarter of Section 12,
Township 17 North, Range 12 East
Indian Meridian, Tulsa County, State of Oklahoma

"Point of Commencement"
Found Alum. Cap. The Southwest Corner
of Section 12, T-17-N, R-12-E, Tulsa
County, State of Oklahoma



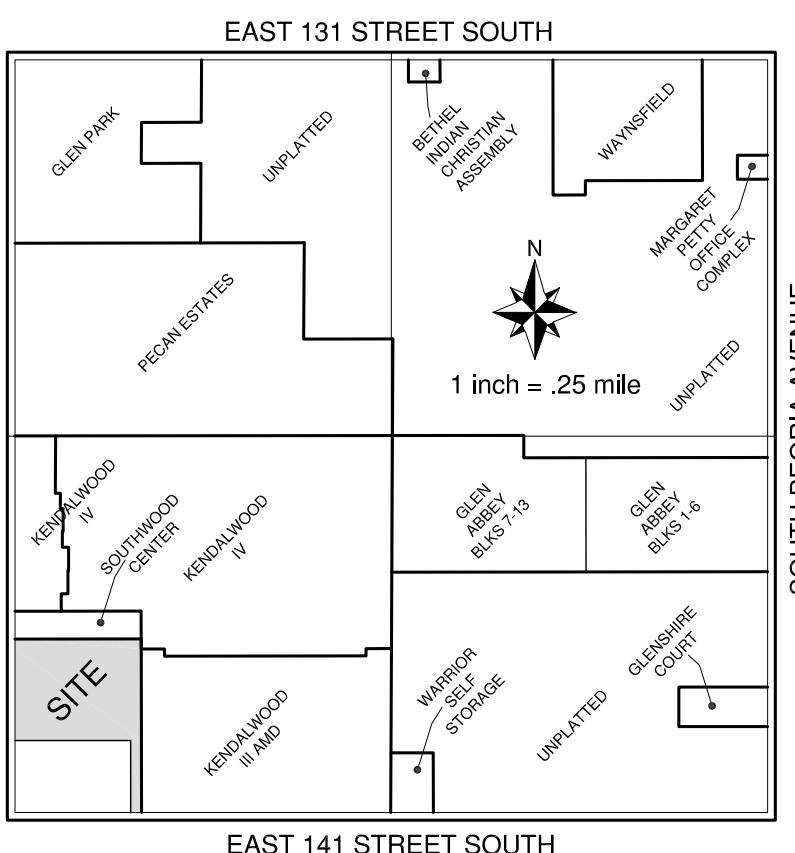
1 inch = .25 mile

Found Alum. Cap. The Southwest Corner
of Section 12, T-17-N, R-12-E, Tulsa
County, State of Oklahoma



* Addresses shown on this plat are accurate as of the time the plat was filed. Addresses are subject to change and should never be relied on in place of a legal description.

LOCATION MAP



SECTION 12, T-17-N, R-12-E TULSA COUNTY

Owners
Glenpool Public Schools District-13
Jerry Olansen, Superintendent
461 E 146th St, Glenpool, OK 74033
Phone: 918-322-9500
jdolansen@glenpools.org

Engineer
Walter P. Moore & Associates, Inc.
TRIAD I, 7666 East 61st Street, Suite 251
Tulsa, OK 74133
918 806 7200
hallen@walterpmoore.com
CA # 1587 Renewal Date June 30th 2018

Surveyor
GEODECA LLC
6028 S. 66th E. Ave. Suite 101
Tulsa, Oklahoma 74145
918 949 4064
rmuzika@geodeca.com
CA # 5524 Renewal Date June 30th 2018

Statistics
Subdivision Contains
1 Block with 1 Lot and 1 Reserve
Gross Area is 692455 Square Feet or 15.8966 Acres
Right of Way Dedicated is 34721 Square Feet or 0.7971 Acres
Lot 1 of Block 1 is 557129 Square Feet or 12.7899 Acres
Reserve A is 100605 Square Feet or 2.3096 Acres

Address
1140 E. 138th Place

Basis of Bearing
Assumed Bearing of
N01°02'24"W along the West line of the SW/4 of
Section 12, T-17-N, R-12-E

Monumentation
Corner Monumented with a
#3 Rebar with Plastic Cap
or a Spike with Steel Washer,
stamped "CA923" from Previous Surveyor or
"GEODECA CA5524"
Unless Monument Found

Flood Zone
Subdivision within Flood Zone A & Zone X
FEMA FIRM Map Number 40037C0428L
Effective Date October 16, 2012

Benchmark
ADS #533
5/8" REBAR & ALUMINUM CAP
Set Northeast of 141st Street and Elwood
Elevation = 715.28 NAVD 1988

GLENPOOL PUBLIC SCHOOLS ADDITION

An Addition to the City of Glenpool being a subdivision of Southwest Quarter of Section 12, Township 17 North, Range 12 East Indian Meridian, Tulsa County, State of Oklahoma

DEED OF DEDICATION AND RESTRICTIVE COVENANTS

KNOW ALL MEN BY THESE PRESENTS:
THAT GLENPOOL PUBLIC SCHOOLS DISTRICT I-13 IS THE OWNER OF THE FOLLOWING DESCRIBED LAND SITUATED IN
THE CITY OF GLENPOOL, TULSA COUNTY, STATE OF OKLAHOMA, TO-WIT:

A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (SW/4 SW/4) OF SECTION TWELVE (12), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SW/4 SW/4, THENCE N01°02'24"W ALONG THE WEST LINE OF SAID SW/4 SW/4 A DISTANCE OF 549.53 FEET TO THE POINT OF BEGINNING, THENCE CONTINUING ALONG SAID WEST LINE N01°02'24"W A DISTANCE OF 700.50 FEET TO A POINT ON THE WESTERLY EXTENSION OF THE SOUTH RIGHT-OF-WAY LINE OF 138TH PLACE, AS SHOWN ON THE RECORDED PLAT OF "SOUTHWOOD CENTER", AN ADDITION TO THE CITY OF GLENPOOL, TULSA COUNTY, STATE OF OKLAHOMA; THENCE N88°32'16"E ALONG SAID SOUTH LINE A DISTANCE OF 525.78 FEET TO THE SOUTHEAST CORNER OF LOT FOUR (4), BLOCK ONE (1) "SOUTHWOOD CENTER" SAID CORNER BEING ON THE WEST LINE OF BLOCK ONE (1), "KENDALWOOD III", AN ADDITION TO THE CITY OF GLENPOOL, TULSA COUNTY, STATE OF OKLAHOMA; THENCE ALONG SAID WEST LINE S01°27'45"E A DISTANCE OF 1200.00 FEET TO A POINT 50.00 FEET FROM THE SOUTH LINE OF THE SW/4 SW/4; THENCE S88°32'16"W A DISTANCE OF 85.00 FEET; THENCE N01°27'45"W AND PARALLEL TO THE WEST LINE OF LOT 1, "KENDALWOOD III" A DISTANCE OF 499.52 FEET; THENCE S88°32'16"W AND PARALLEL TO THE SOUTH LINE OF THE SW/4 SW/4 A DISTANCE OF 845.95 FEET TO THE POINT OF BEGINNING. SAID TRACT OF LAND CONTAINING 692759 SQUARE FEET OR 15.9036 ACRES, LESS AND EXCEPT A TRACT OF LAND THAT IS A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (SW/4 SW/4) OF SECTION TWELVE (12), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, SAID TRACT OF LAND BEING DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SW/4 SW/4; THENCE N01°02'24"W ALONG THE WESTERLY LINE OF SAID SW/4 SW/4 FOR 785.02 FEET; THENCE N88°57'36"E FOR 30.00 FEET TO THE POINT OF BEGINNING OF SAID TRACT OF LAND; THENCE N39°50'18"E FOR 19.14 FEET; THENCE N05°28'03"W FOR 16.76 FEET; THENCE N77°29'01"W FOR 11.55 FEET; THENCE SOUTHERLY PARALLEL WITH AND 30.00 FEET EASTERLY OF AS MEASURED PERPENDICULARLY TO SAID WESTERLY LINE OF THE SOUTHWEST QUARTER OF SECTION TWELVE (12), FOR 33.89 FEET TO THE POINT OF BEGINNING OF SAID TRACT OF LAND. SAID TRACT OF LAND CONTAINING 304 SQUARE FEET OR 0.007 ACRES.

SUBDIVISION AREA CONTAINS 692455 SQUARE FEET OR 15.8966 ACRES.

AND THAT GLENPOOL PUBLIC SCHOOLS DISTRICT I-13, HERINAFTER REFERRED TO AS "OWNER", HAS CAUSED THE ABOVE DESCRIBED LAND TO BE SURVEYED, STAKED, PLATTED AND SUBDIVIDED INTO ONE LOT, ONE BLOCK, IN CONFORMITY WITH THE ACCOMPANYING PLAT IN THE CITY OF GLENPOOL, TULSA COUNTY, OKLAHOMA.

SECTION I. UTILITY EASEMENTS

A. UTILITY EASEMENTS:

HEREBY THE OWNER DEDICATES TO THE PUBLIC THE UTILITY EASEMENTS DESIGNATED AS "UE" OR "UTILITY EASEMENT" FOR THE SEVERAL PURPOSES OF CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING, REPLACING, AND/OR REMOVING ANY AND ALL PUBLIC UTILITIES, INCLUDING STORM SEWERS, SANITARY SEWERS (IF AVAILABLE IN THE FUTURE), TELEPHONE AND COMMUNICATION LINES, ELECTRIC POWER LINES AND TRANSFORMERS, GAS LINES, WATER LINES AND CABLE TELEVISION LINES, TOGETHER WITH ALL FITTINGS, INCLUDING THE POLES, WIRES, CONDUITS, PIPES, VALVES, METERS, MANHOLES AND EQUIPMENT FOR EACH OF SUCH FACILITIES AND ANY OTHER APPURTENANCES THERETO, WITH THE RIGHTS OF INGRESS AND EGRESS TO AND UPON THE UTILITY EASEMENTS FOR THE USES AND PURPOSES STATED, PROVIDED THE OWNER RESERVES THE RIGHT TO CONSTRUCT, MAINTAIN, OPERATE, LAY AND REPAIR OR REPLACE WATER LINES AND SEWER LINES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR SUCH CONSTRUCTION, MAINTENANCE, OPERATION, LAYING, REPAIRING AND RE-LAYING OVER, ACROSS AND ALONG ALL OF THE UTILITY EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT. THE OWNER HEREIN IMPOSES A RESTRICTIVE COVENANT, WHICH COVENANT SHALL BE BINDING ON THE OWNER AND SHALL BE ENFORCEABLE BY THE CITY OF GLENPOOL, OKLAHOMA, AND BY THE SUPPLIER OF ANY Affected UTILITY SERVICE, THAT WITHIN THE UTILITY EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT, NO BUILDING, STRUCTURE OR OTHER ABOVE OR BELOW GROUND OBSTRUCTION THAT INTERFERES WITH STATED USES AND PURPOSES OF THE UTILITY EASEMENTS SHALL BE PLACED, ERECTED, INSTALLED OR MAINTAINED, PROVIDED NOTHING HEREIN SHALL BE DEEMED TO PROHIBIT DRIVES, PARKING AREAS, CURBING, LANDSCAPING AND CUSTOMARY SCREENING FENCES WHICH DO NOT CONSTITUTE AN OBSTRUCTION.

B. UTILITY SERVICE:

1. OVERHEAD LINES FOR THE SUPPLY OF ELECTRIC, TELEPHONE AND CABLE TELEVISION SERVICES MAY BE LOCATED WITHIN THE UTILITY EASEMENTS ALONG S ELWOOD AVE AND E 141ST ST. ELSEWHERE THROUGHOUT THE LOT, ALL UTILITY LINES INCLUDING ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS LINES SHALL BE LOCATED UNDERGROUND IN EASEMENTS DEDICATED FOR GENERAL UTILITY SERVICE AS DEPICTED ON THE ACCOMPANYING PLAT. SERVICE PEDESTALS AND TRANSFORMERS, AS SOURCES OF SUPPLY AT SECONDARY VOLTAGES, MAY ALSO BE LOCATED IN GENERAL UTILITY EASEMENTS.

2. UNDERGROUND SERVICE CABLES TO ALL STRUCTURES WITHIN THE LOT MAY BE EXTENDED FROM THE NEAREST SERVICE PEDESTAL OR TRANSFORMER TO THE POINT OF USAGE DETERMINED BY THE LOCATION AND CONSTRUCTION OF SUCH STRUCTURE UPON THE LOT, PROVIDED UPON INSTALLATION OF A SERVICE CABLE TO A PARTICULAR STRUCTURE, THE SUPPLIER OF THE SERVICE SHALL THEREAFTER BE DEEMED TO HAVE A DEFINITIVE, PERMANENT, EFFECTIVE AND NON-EXCLUSIVE EASEMENT ON THE LOT, COVERING A 5 FOOT STRIP EXTENDING 2.5 FEET ON EACH SIDE OF THE SERVICE CABLE, SERVICE PEDESTAL OR TRANSFORMER TO THE SERVICE ENTRANCE ON THE STRUCTURE.

3. THE SUPPLIER OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS SERVICE, THROUGH ITS AGENTS AND EMPLOYEES, SHALL AT ALL TIMES HAVE THE RIGHT OF ACCESS TO ALL UTILITY EASEMENTS SHOWN ON THE PLAT OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF THE UNDERGROUND ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS FACILITIES INSTALLED BY THE SUPPLIER OF THE UTILITY SERVICE.

4. THE OWNER OF THE LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND SERVICE FACILITIES LOCATED ON THE OWNER'S LOT AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH THE ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS FACILITIES. EACH SUPPLIER OF THESE SERVICES SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OR UNDERGROUND FACILITIES, BUT THE OWNER OF THE LOT SHALL PAY FOR DAMAGE OR RELocation OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER OF THE LOT OR THE OWNER OF THE LOT'S AGENTS OR CONTRACTORS.

5. THE COVENANTS SET FORTH IN THIS SUBSECTION SHALL BE ENFORCEABLE BY EACH SUPPLIER OF THE ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS SERVICE AND THE OWNER OF THE LOT AGREES TO BE BOUND BY THESE COVENANTS, GAS SERVICES:

a. THE SUPPLIER OF GAS SERVICE THROUGH ITS AGENTS AND EMPLOYEES SHALL AT ALL TIMES HAVE THE RIGHT TO ACCESS TO ALL UTILITY EASEMENTS SHOWN ON THE PLAT OR AS OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, REMOVING, REPAIRING, OR REPLACING ANY PORTION OF THE FACILITIES INSTALLED BY THE SUPPLIER OF GAS SERVICE.

b. THE OWNER OF THE LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND GAS FACILITIES LOCATED IN THEIR LOT AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY OTHER CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH THE GAS SERVICE. THE SUPPLIER OF THE GAS SERVICE SHALL BE RESPONSIBLE FOR THE ORDINARY MAINTENANCE OF SAID FACILITIES, BUT THE OWNER OF THE LOT SHALL PAY FOR DAMAGE OR RELOCATION OF FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER OF THE LOT, OR ITS AGENTS OR CONTRACTORS.

c. THE FOREGOING COVENANTS SET FORTH IN THIS PARAGRAPH SHALL BE ENFORCEABLE BY THE SUPPLIER OF THE GAS SERVICE AND THE OWNERS OF THE LOTS AGREE TO BE BOUND BY THESE COVENANTS.

C. PUBLIC WATER, STORM SEWER, AND SANITARY SEWER SERVICE:

1. THE OWNER OF THE LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC WATER MAINS, STORM SEWERS, AND SANITARY SEWER LOCATED ON THE OWNER'S LOT.

2. WITHIN THE UTILITY EASEMENTS, RESTRICTED WATERLINE, STORM SEWER AND DRAINAGE EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT, THE ALTERATION OF GRADE FROM THE CONTOURS EXISTING UPON THE COMPLETION OF THE INSTALLATION OF A PUBLIC WATER MAIN, SANITARY SEWERS OR STORM SEWER OR ANY CONSTRUCTION ACTIVITY WHICH, IN THE JUDGMENT OF THE CITY OF GLENPOOL, WOULD INTERFERE WITH PUBLIC WATER MAINS, SANITARY SEWERS AND STORM SEWERS SHALL BE PROHIBITED, PROVIDED HOWEVER, NOTHING HEREIN SHALL BE DEEMED TO PROHIBIT DRIVES, PARKING AREAS, CURBING, LANDSCAPING, AND CUSTOMARY SCREENING FENCES AND WALLS THAT DO NOT CONSTITUTE AN OBSTRUCTION.

3. THE CITY OF GLENPOOL, OKLAHOMA, OR ITS SUCCESSORS, SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF PUBLIC WATER MAINS, SANITARY SEWERS AND STORM SEWERS BUT THE OWNER OF THE LOT SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER OF THE LOT, THEIR AGENTS OR CONTRACTORS.

4. THE CITY OF GLENPOOL, OKLAHOMA, OR ITS SUCCESSORS, SHALL AT ALL TIMES HAVE RIGHT OF ACCESS TO ALL PUBLIC UTILITY EASEMENTS, RESTRICTED WATERLINE EASEMENTS, STORM SEWER AND DRAINAGE EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT, OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION, FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF UNDERGROUND PUBLIC WATER, SANITARY SEWERS OR STORM SEWER FACILITIES.

5. THE FOREGOING COVENANTS SET FORTH IN THE ABOVE PARAGRAPHS SHALL BE ENFORCEABLE BY THE CITY OF GLENPOOL, OKLAHOMA, OR ITS SUCCESSORS, AND THE OWNER OF THE LOT AGREES TO BE BOUND BY THESE COVENANTS.

D. LOT SURFACE DRAINAGE:

THE LOT SHALL RECEIVE AND DRAIN, IN AN UNOBSTRUCTED MANNER, THE STORM WATER FROM LOTS AND DRAINAGE AREAS OF HIGHER ELEVATION. THE LOT OWNER SHALL NOT CONSTRUCT OR PERMIT TO BE CONSTRUCTED ANY FENCING OR OTHER OBSTRUCTIONS WHICH WOULD IMPAIR THE DRAINAGE OF STORM AND SURFACE WATERS OVER AND ACROSS THE OWNER'S LOT. THE FOREGOING COVENANTS SET FORTH IN THIS PARAGRAPH SHALL BE ENFORCEABLE BY THE LOT OWNER AND BY THE CITY OF GLENPOOL, OKLAHOMA.

E. PAVING AND LANDSCAPING WITHIN EASEMENTS:

THE OWNER OF THE LOT DEPICTED ON THE ACCOMPANYING PLAT SHALL BE RESPONSIBLE FOR THE REPAIR OF DAMAGE TO LANDSCAPING, AND PAVING OCCASIONED BY INSTALLATION OR NECESSARY MAINTENANCE OF UNDERGROUND WATER, SANITARY SEWER, STORM SEWER, NATURAL GAS, COMMUNICATION, CABLE TELEVISION OR ELECTRIC FACILITIES WITHIN THE EASEMENT AREAS DEPICTED UPON THE ACCOMPANYING PLAT, PROVIDED THE CITY OF GLENPOOL, OKLAHOMA, OR ITS SUCCESSORS, OR THE SUPPLIER OF THE UTILITY SERVICE SHALL USE REASONABLE CARE IN THE PERFORMANCE OF SUCH ACTIVITIES.

F. LIMITS OF NO ACCESS:

THE OWNER HEREBY RELINQUISHES RIGHTS OF VEHICULAR INGRESS OR EGRESS FROM ANY PORTION OF THE PROPERTY ADJACENT TO SOUTH ELWOOD, 141ST STREET AND RESERVE "A" WITHIN THE BOUNDS DESIGNATED AS "LIMITS OF NO ACCESS" ON THE ACCOMPANYING PLAT, ANY SUCH "LIMITS OF NO ACCESS" MAY BE AMENDED OR RELEASED BY THE CITY OF GLENPOOL, OR ITS SUCCESSOR, WITH THE APPROVAL OF THE CITY OF GLENPOOL, OR AS OTHERWISE PROVIDED BY THE STATUTES AND LAWS OF THE STATE OF OKLAHOMA PERTAINING THERETO.

G. SEVERABILITY

INVALIDATION OF ANY RESTRICTION SET FORTH HEREIN, OR ANY PART THEREOF, BY AN ORDER, JUDGMENT, OR DECREE OF ANY COURT, OR OTHERWISE, SHALL NOT INVALIDATE OR AFFECT ANY OF THE OTHER RESTRICTIONS OR ANY PART THEREOF AS SET FORTH HEREIN, WHICH SHALL REMAIN IN FULL FORCE AND EFFECT.

H. AMENDMENT

THE COVENANTS CONTAINED WITHIN SECTION I. EASEMENTS AND UTILITIES MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNER OF THE LAND TO WHICH THE AMENDMENT OR TERMINATION IS TO BE APPLICABLE AND APPROVED BY THE GLENPOOL PLANNING COMMISSION, OR ITS SUCCESSORS, AND THE CITY OF GLENPOOL, OKLAHOMA. THE PROVISIONS OF ANY INSTRUMENT AMENDING OR TERMINATING COVENANTS AND RESTRICTIONS SHALL BE EFFECTIVE FROM AND AFTER THE DATE IT IS PROPERLY RECORDED.

I. DURATION

THESE RESTRICTIONS, TO THE EXTENT PERMITTED BY APPLICABLE LAW, SHALL BE PERPETUAL BUT IN ANY EVENT SHALL BE IN FORCE AND EFFECT FOR A TERM OF NOT LESS THAN THIRTY (30) YEARS FROM THE DATE OF THE RECORDING OF THIS DEED OF DEDICATION UNLESS TERMINATED OR AMENDED AS HEREINAFTER PROVIDED.

J. CERTIFICATE OF SURVEY

I, RUSSELL M. MUZIKA, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF OKLAHOMA, DO HEREBY CERTIFY THAT I HAVE CAREFULLY AND ACCURATELY SURVEYED, SUBDIVIDED, AND PLATTED THE TRACT OF LAND DESCRIBED ABOVE, AND THAT THE ACCOMPANYING PLAT IN THE CITY OF GLENPOOL, TULSA COUNTY, STATE OF OKLAHOMA, IS A REPRESENTATION OF THE SURVEY MADE ON THE GROUND USING GENERALLY ACCEPTED PRACTICES AND MEETS OR EXCEEDS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING.

K. WITNESS MY HAND AND SEAL THIS ____ DAY OF ____ 2017.

IN WITNESS WHEREOF, GLENPOOL PUBLIC SCHOOLS DISTRICT I-13 HAS EXECUTED THIS INSTRUMENT ON THIS ____ DAY OF ____ 201____

GLENPOOL PUBLIC SCHOOLS DISTRICT I-13
BY: _____
JERRY OLANSEN, SUPERINTENDENT

STATE OF OKLAHOMA)
) SS
COUNTY OF TULSA)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS ____ DAY OF ____ 201____ BY _____

MY COMMISSION EXPIRES: _____, NOTARY

FINAL PLAT CONFORMATION OR APPROVAL
CITY PLANNING COMMISSION APPROVAL

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE GLENPOOL PLANNING COMMISSION ON _____

CHAIRMAN, VICE CHAIRPERSON OR SECRETARY

CITY COUNCIL APPROVAL

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE GLENPOOL CITY COUNCIL ON _____

MAYOR OR VICE MAYOR

CITY MANAGER APPROVAL

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE GLENPOOL CITY MANAGER ON _____

CITY MANAGER

THIS APPROVAL SHALL NOT BE INTERPRETED TO MEAN STREETS, WATER LINES, SANITARY SEWERS, STORM DRAINAGE OR OTHER UTILITIES ARE CONSTRUCTED AS SHOWN ON THIS PLAT.

DATE PREPARED December 6 2017 3:20 PM

TO: **Glenpool Planning Commission**

FROM: **Rick Malone, City Planner**

RE: **Site Plan Review: SP-2017-06: (Glenpool Public School)**

DATE: **December 11, 2017**

BACKGROUND:

Glenpool Public School is requesting Site Plan approval in order to allow construction of an 50,000 square foot building on 15.89 acres located at the southeast corner of 138th Pl. and Elwood Ave. This entire property is zoned CS (Commercial Shopping)

PROPERTY CHARACTERISTICS:

The proposed use (Use Unit #5 School) is allowed in the CS zoning district by right. The subject tract is being platted as Lot 1, Block 1 Glenpool Public School which the preliminary plat was approved by the Planning Commission on 1/9/17, the final plat is on the agenda for 12/11/17 and if approved, it is being heard on the City Council agenda for 12/12/17.

- The applicant is requesting a waiver of the Subdivision Regulation requiring the installation of sidewalks on Elwood Ave and 141st Street as indicated by section:

“12-5-3: SIDEWALKS: C. Sidewalks shall be required on either side of all primary and secondary arterial streets”.

Both Elwood Ave and 141st Street are designated as secondary arterial streets by the Glenpool Major Street and Highway Plan.

SITE PLAN REVIEW:

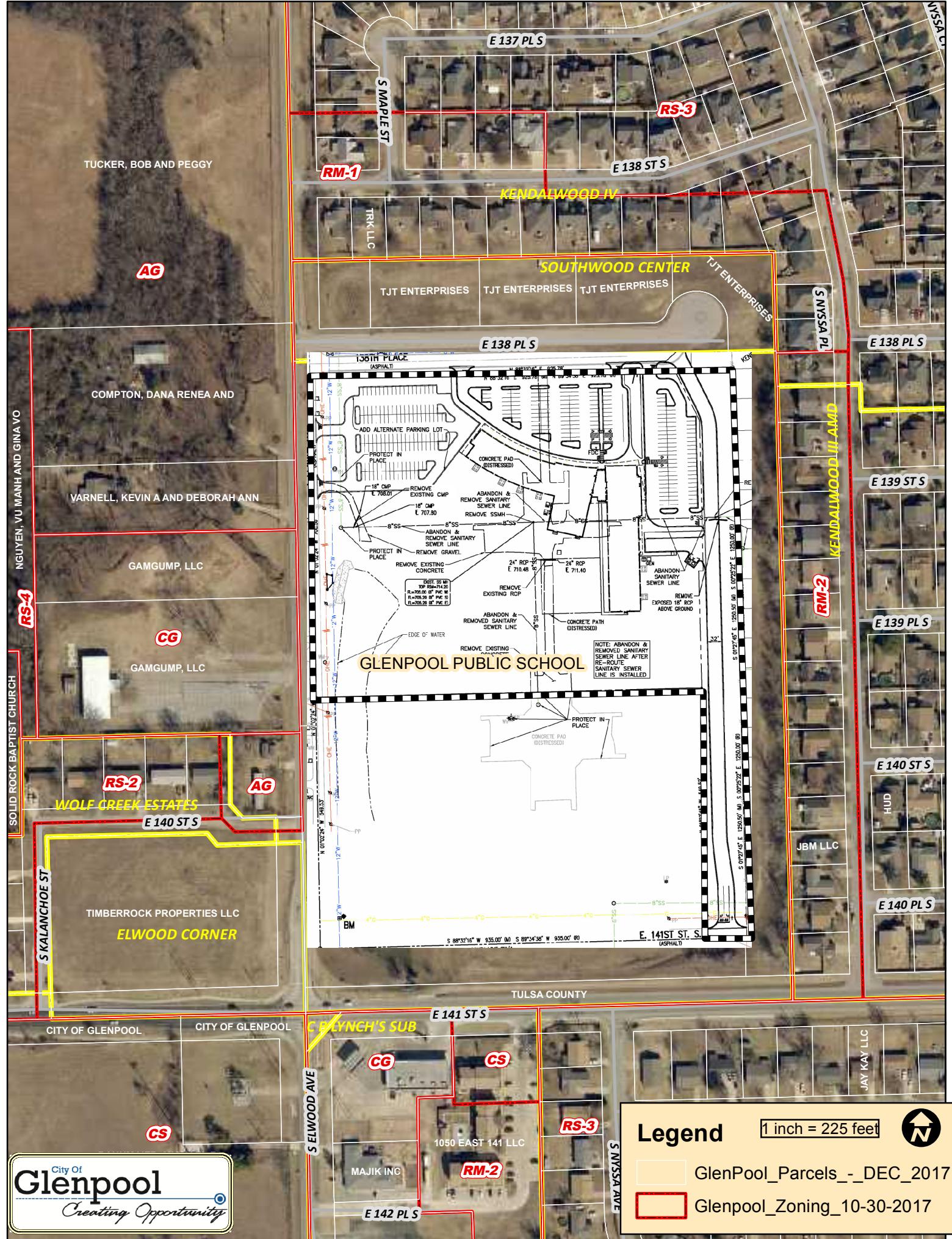
- The staff has reviewed the parking provisions of the site plan and they exceed the minimum standards.
- The staff has required that the applicant provide a landscape plan that meets the Glenpool Zoning criteria and approved by staff before a Certificate of Occupancy will be issued.
- The utility plans were reviewed at the TAC meeting and all necessary utilities and easements are adequate to service this site.
- On 12/1/17, the Technical Advisory Committee reviewed the site plan per the subdivision regulations and found that they meet the requirements.
- Sign permit is required to be submitted for all site and building signage by the applicant before installation of any signage.

STAFF RECOMMENDATION:

The staff recommends approval of the site plan : SP-2017-06: (Glenpool Public School) per TAC and Staff comments listed above.

ATTACHMENTS:

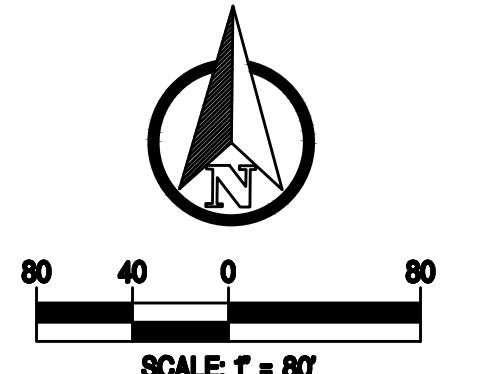
- 1) Case Map
- 2) Site Plan



TULSA
110 WEST SEVENTH
SUITE 710
TULSA, OK 74119
T: 918.585.3900
F: 918.585.1967

OKLAHOMA CITY
100 N. BERNARD MCGEE AVE
SUITE 135
OKLAHOMA CITY, OK 73102

PROJECT:
GLENPOOL
PUBLIC
SCHOOLS -
LOWER
ELEMENTARY



PROJECT NUMBER:
16019

CONSULTANT:
WALTER P MOORE

WALTER P. MOORE AND ASSOCIATES, INC.
7666 EAST 11ST STREET
SUITE 251
TULSA, OKLAHOMA 74133
PHONE: 918.606.7200 FAX: 918.606.7250

REVISIONS:

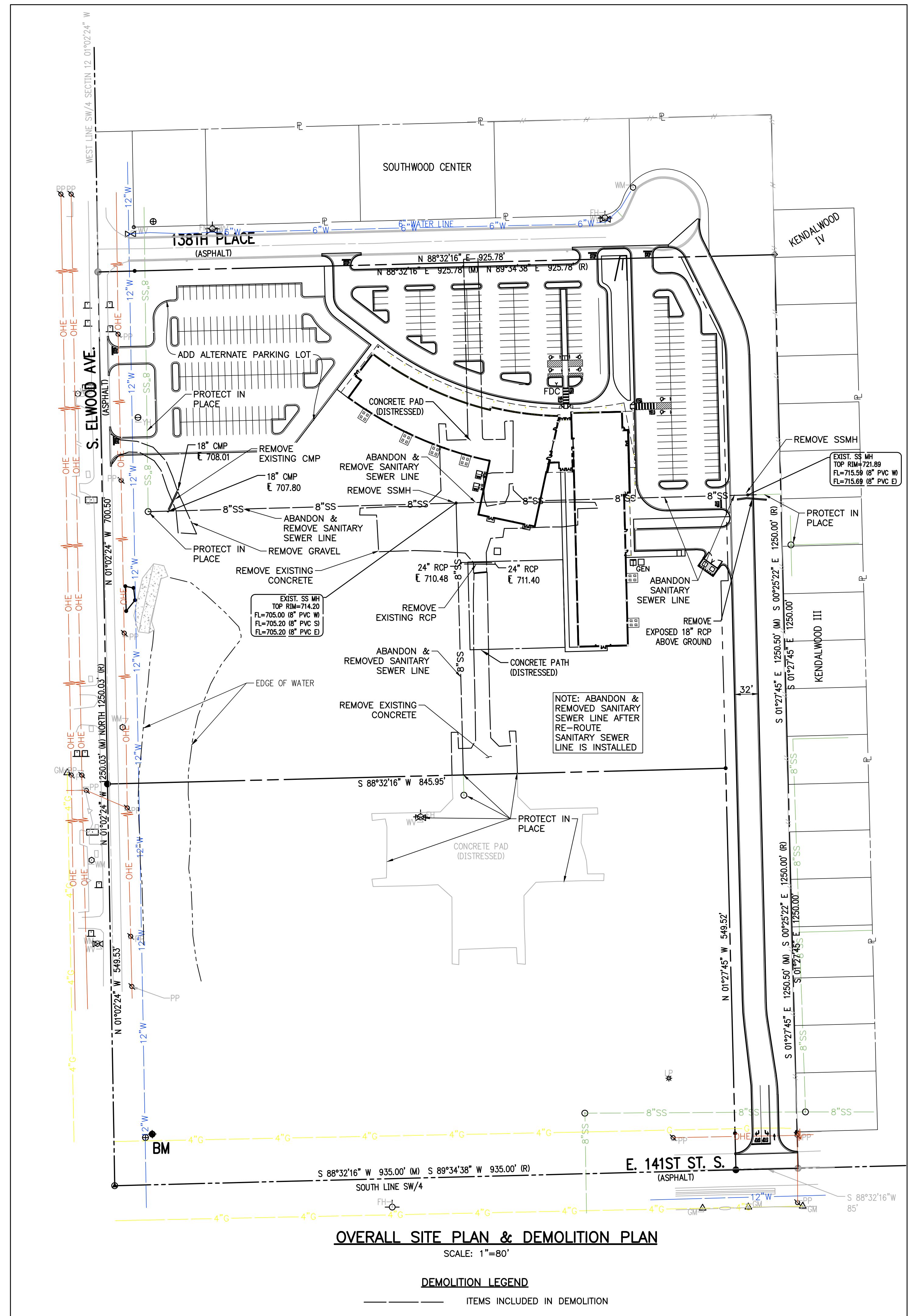
No	Description	Date
	SITE PLAN REVIEW	12.6.17

SEAL:
INTERIM REVIEW ONLY
Document Incomplete: Not intended
for permit or construction.
Engineer: DAVID SHELTON
P.E. Serial No.: 28900
Date: DECEMBER 06, 2017
Walter P. Moore and Associates, Inc.

ISSUE DATE:
10.30.2017

SHEET NUMBER:
C3

OVERALL SITE
PLAN, DEMOLITION
PLAN & GENERAL
NOTES



EROSION CONTROL

ALL DISTURBED AREAS THAT ARE NOT PAVED, OR BUILDING PADS, SHALL BE LANDSCAPED OR REVEGETATED WITH A TEMPORARY OR PERMANENT COVER, DEPENDING ON THE PLANTING SEASON, AS OUTLINED BELOW.

PLANT	ANNUAL RYEGRASS	PER ACRE 220 LBS.	PER 1000 SQ.FT. 5.0 LBS.	PLANTING DATE 9/01-11/30	DEPTH OF SEEDING 1/4 INCH
WHEAT	130 BU.		3.0 LBS.	8/15-11/30	2 INCH
BERMUDA GRASS FESCUE	85 LBS. 350 LBS.		2.0 LBS. 8.0 LBS.	6/15-08/15 9/01-11/01	0 - 1/2 INCH 0 - 1/2 INCH

PERMANENT PRACTICES:

- ALL GRADING SHALL BE COMPLETE PRIOR TO PLACING SOD.
- THE SUBGRADE SHALL BE LOOSENED EVENLY TO A DEPTH OF 2 TO 3 INCHES AND 10-20 FERTILIZER (10 POUNDS PER 1000 SQUARE FEET OR 450 POUNDS PER ACRE) SHALL BE MIXED WITH THE LOOSENED SURFACE SOIL BY DISCING OR OTHER SUITABLE MEANS.
- SOILS KNOWN TO BE HIGHLY ACIDIC SHALL BE LIME TREATED.
- THE AREA SHALL BE WATERED REGULARLY TO MAINTAIN ADEQUATE SOIL MOISTURE UNTIL PROPER GROWTH IS ESTABLISHED AND AT LEAST 70% STABILIZED.

GRADING NOTES:

- NEW CONTOURS DENOTE TOP OF FINISHED PAVING OR GRADED AREA AS INDICATED. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE, UNLESS NOTED OTHERWISE.
- ADJUST ALL CLEAN OUT RIMS, MANHOLE COVERS, AND VALVE AND METER BOXES TO FINISHED GRADE.
- NOTIFY ENGINEER IF EXISTING GROUND CONDITIONS VARY FROM THOSE SHOWN ON PLANS.
- THE CONTRACTOR SHALL GRADE ALL AREAS TO POSITIVELY DRAIN AWAY FROM BUILDINGS.
- THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES. ANY DAMAGED UTILITIES CAUSED BY THE CONSTRUCTION OPERATIONS SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND STABILIZE ANY SOFT SOILS AS NEEDED TO REACH OPTIMUM SOIL CONDITIONS.
- ALL DISTURBED AREAS SHALL BE SODDED. CONTRACTOR SHALL BE RESPONSIBLE UNTIL GROWTH IS ESTABLISHED.
- STRIPPING SHALL BE STOCKPILED OR WINDROWED ON SITE IN AREAS DESIGNATED BY OWNER, AND RE-SPREAD AS DIRECTED BY OWNER AFTER GRADING IS COMPLETE. TOPSOIL SHALL BE SPREAD TO A DEPTH NOT EXCEEDING 6 INCHES AND COORDINATED WITH THE LANDSCAPE PLANS AND SPECIFICATIONS.
- CLEARING AND TREE REMOVAL WILL BE PERFORMED AS PART OF THE UNIT PRICE FOR EXCAVATION AND EMBANKMENT, AND SHALL INCLUDE GRUBBING ROOTS AND VEGETATION AS MAY BE NECESSARY.
- ROUGH GRADING CONTRACTOR SHALL STOCKPILE TOPSOIL FOR LANDSCAPE CONTRACTOR'S USE AND BENEFIT. LANDSCAPE CONTRACTOR SHALL USE AND/OR DISPOSE OF REMAINING TOPSOIL STOCKPILE.
- CONTRACTOR SHALL PROVIDE WATER AS REQUIRED TO OBTAIN SPECIFIED COMPACTION.
- DENSITY TESTING WILL BE PROVIDED BY THE OWNER. ANY FAILING TEST SHALL BE RE-TESTED AT THE CONTRACTOR'S EXPENSE UNTIL PASSING TESTS ARE OBTAINED.
- THE EARTHWORK CONTRACTOR IS ULTIMATELY RESPONSIBLE TO IMPORT OR EXPORT MATERIAL AS NECESSARY TO ACHIEVE THE GRADES SHOWN ON THE CIVIL ENGINEER'S DOCUMENTS.
- CONTRACTOR SHALL BE OBLIGATED TO KEEP DUST AT A MINIMUM AS REQUIRED BY OWNER.
- ANY FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 6" AND SHALL BE COMPACTION TO 95% STANDARD PROCTOR DENSITY.

SITE PLAN NOTES

- ALL DIMENSIONS ARE TO THE TO THE FACE OF CURB, AND ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL KEEP THE SITE CLEAN DURING CONSTRUCTION AND SUPPLY CONSTRUCTION CONTAINERS OR DUMPSTERS TO MAINTAIN ALL TRASH AND DEBRIS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- REFER TO ELECTRICAL PLANS FOR SITE LIGHTING DETAILS.
- ALL PAVING MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY AND DEPARTMENT OF TRANSPORTATION STANDARD DRAWINGS AND SPECIFICATIONS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM THE ACCURACY AND LOCATION OF SITE BOUNDARY AND DIMENSIONS. ANY DISCREPANCIES DISCOVERED BETWEEN FIELD VERIFIED LOCATIONS AND PLAN LOCATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD FOR RESOLUTION PRIOR TO PROCEEDING.
- SURVEY INFORMATION PROVIDED BY OWNER.

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS.
- EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN. THE EXACT LOCATIONS AND NOTIFICATIONS OF THE PROPER AGENCY IS THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY WORK ORDERS AND PERMITS FROM THE CITY, INCLUDING PROVISIONS OF BONDS AND INSURANCE AS REQUIRED.
- ALL WASTE OR SPOIL SHALL BE TAKEN TO A CITY APPROVED SITE OR SPREAD IN AREAS OUTSIDE OF THE STREET RIGHTS-OF-WAY AS DIRECTED BY THE OWNER AND ENGINEER.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES DUE TO CONSTRUCTION TRAFFIC OR OPERATIONS.
- CONTRACTOR TO SUPPLY TEMPORARY CHAIN LINK FENCING FOR THIS PROJECT, AS REQUIRED BY OWNER.
- CIVIL ENGINEER WILL NOT INTERPRET SOILS REPORTS OR ACCEPT RESPONSIBILITY FOR ALTERNATIVE METHODS PROPOSED BY THE CONTRACTOR.
- GENERAL CONTRACTOR SHALL MONITOR INSTALLATION OF SERVICE PEDESTALS AND SHALL ACCEPT CONDITION OF THE WORK BY OTHERS, AND SHALL BE RESPONSIBLE TO EMPLOY CONTRACTORS AS NECESSARY TO CORRECT POOR WORKMANSHIP.
- CORRECTIVE MEASURES DIRECTED BY THE ENGINEER MAY INCLUDE COMPLETE REMOVAL AND REPLACEMENT AT NO COST TO OWNER IN CASES OF POOR WORKMANSHIP OR UNSATISFACTORY IN-PLACE CONDITIONS.
- CONTRACTOR AND ALL RELATED CONSTRUCTION ACTIVITIES ARE REQUIRED TO MAINTAIN NORMAL NOISE LEVELS AND ALL EQUIPMENT AND VEHICLES ARE REQUIRED TO BE PROPERLY MUFFLED.

DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A DEMOLITION PERMIT FROM THE CITY. PRIOR TO STARTING DEMOLITION ACTIVITIES, CONTRACTOR SHALL PAY ALL COSTS ASSOCIATED WITH DEMOLITION PERMIT.
- CONTRACTOR SHALL CONFORM WITH ALL APPLICABLE CODES (LOCAL, STATE AND FEDERAL) FOR DEMOLITION, DUST CONTROL, EROSION CONTROL AND DISPOSAL OF DEMOLITION MATERIAL AND DEBRIS.
- CONTRACTOR SHALL NOTIFY OWNER AND DESIGN TEAM AT ANY DISCREPANCIES IN SURVEY PRIOR TO TERMINATING AND DEMOLISHING UTILITIES.

LEGEND:

EXISTING CONTOUR	615
PROPOSED CONTOUR	615
PROPERTY LINE	—
FIRE WATER LINE	WL
WATER LINE	WL
SANITARY SEWER LINE	SS
COMMUNICATIONS CONDUIT	UC
GAS LINE	UG
ELECTRIC CABLE	UE
STORM DRAIN PIPE	SD
SANITARY SEWER CLEANOUT	oCO
DOWNSPOUT	DS
IRRIGATION SLEEVE	—
SITE LIGHTING, RE: ELECTRIC PLANS	■
SILT FENCE	—
CONSTRUCTION ENTRANCE	■■■■■
INLET SEDIMENT TRAP	□
FLOW DIRECTION	→
SILT DIKE	AAA
PROPOSED 6" CURB & GUTTER	—
LANDSCAPE/SOD AREA, RE: LANDSCAPE PLANS	LS
PARKING SPACES	#
FIRE DEPARTMENT CONNECTION	FDC
TRANSFORMER	T
GENERATOR	GEN
FIRE HYDRANT	●

ADDRESS:

1150 E. 138TH PLACE,
GLENPOOL, OKLAHOMA

IMPERVIOUS TABLE CHART		
TOTAL DISTURBED AREA	15 AC.	
PRESENT IMPERVIOUS AREA	36,004 SQ. FT.	
INCREASED IMPERVIOUS AREA	160,568 SQ. FT.	
TOTAL IMPERVIOUS AREA	196,571 SQ. FT.	

* EXCLUDING ADD ALTERNATE PARKING AREA

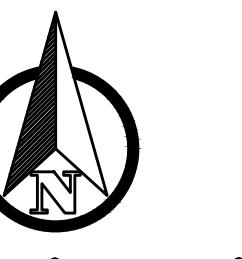


BENCHMARK
OKLAHOMA STATE PLANE COORDINATE SYSTEM NORTH
ZONE: 3501
DESCRIPTION: BENCHMARK
2/8" REBAR-1 1/2" ALUMINUM
CAP-FLUSH-STAMPED "533", SET N.E. of 141ST
ST. AND S. ELWOOD AVE.
HORIZONTAL DATUM: NAD83 (1993)
VERTICAL DATUM: NAVD 1988
EASTING: 2562233.431
VERTICAL DATUM: NAVD 1988
ELEV. 715.28

ULSA
WEST SEVENTH
TE 710
SA, OK 74119
18.583.5800
18.585.1967

OKLAHOMA CITY
DEAN A McGEE AVE
STE 135
OKLAHOMA CITY, OK 73102

PROJECT: GLENPOOL PUBLIC SCHOOLS - POWER ELEMENTARY



PROJECT NUMBER:
6019

CONSULTANT:

WALTER P. MOORE AND ASSOCIATES, INC.
7666 EAST 61ST STREET
SUITE 251
TULSA, OKLAHOMA 74133

REVIZIONI:

	SITE PLAN REVIEW	12.6.17

INTERIM REVIEW ONLY

or permit or construction.
Engineer: DAVID SHELTON
E. Serial No.: 28900
Date: DECEMBER 06, 2017
Walter P. Moore and Associates, Inc.

SUE DATE:
0.30.2017

HEET NUMBER:
1

4 TE PLAN

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Date: December 11, 2017

To: Planning Commission/Board of Adjustment

From: Rick Malone, City Planner

Re: 2018 Meeting Schedule

Background

Per Oklahoma Open Meetings Act O.S.25 § 311(A)(1), all public bodies shall give notice in writing by December 15 of each calendar year of the schedule of the regularly scheduled meetings for the following year.

Attached

- 2018 Meeting Calendar

2018 CALENDAR YEAR

SCHEDULE OF REGULAR MEETINGS

PLANNING COMMISSION/BOARD OF ADJUSTMENT

DATE	TIME	PLACE
Tuesday, January 09, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, February 12, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, March 12, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, April 09, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, May 14, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, June 11, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, July 09, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, August 13, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, September 10, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, October 08, 2018	6:30 P.M.	GLENPOOL CITY HALL
Wednesday, November 14, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, December 10, 2018	6:30 P.M.	GLENPOOL CITY HALL

Meetings held at:

GLENPOOL CITY HALL, 3rd Floor, City Council Chambers, 12205 S Yukon Ave., Glenpool Oklahoma