

**NOTICE
GLENPOOL PLANNING
COMMISSION REGULAR MEETING**

A Regular Session of the Glenpool Planning Commission will be held at 6:30 p.m. on Monday, December 11, 2017, at Glenpool City Hall, City Council Chambers, 12205 S. Yukon Ave., 3rd Floor, Glenpool, Oklahoma.

The Planning Commission welcomes comments from citizens of Glenpool who wish to address any item on the agenda. Speakers are requested to complete one of the forms located on the agenda table and return to the Planning Director "PRIOR TO THE CALL TO ORDER"

AGENDA

- A) Call to Order – Richard Watts, Chairman
- B) Roll Call, declaration of quorum – Rick Malone, Secretary; Richard Watts, Chairman
- C) Scheduled Business
 - 1) Discussion and possible action to approve minutes from November 13, 2017.
 - 2) Review and possible action to recommend to the City Council approval, conditional approval, or disapproval of case GZ-266. A request to change the zoning classification from AG to RS-3 on 26.97 acres located on the north side of 151st Street (Hwy 67) approximately ¼ mile east of Elwood Ave.
 - 3) Review and possible action to recommend to the City Council approval, conditional approval, or disapproval of the Final Plat: Glenpool Public School to allow a one lot, one block plat on 15.89 acres located at the southeast corner of 138th Pl. and Elwood Ave.
 - 4) Review and possible action to approve, conditional approve, or disapprove the Site Plan SP-2017-06 (Glenpool Public School) to allow a 50,000 square foot building on 15.89 acres located at the southeast corner of 138th Pl. and Elwood Ave.
 - 5) Discussion and possible action to appoint one Planning Commission member to the TIF Review Committee, pursuant to Sec. 855 of the Local Development Act, Title 62 O.S. Secs. 850, *et seq.*, and as provided by Sec. 2 of Resolution No. 17014. (Lowell Peterson, City Attorney)
 - 6) Review and possible action to approve the 2018 Planning Commission meeting schedule.
- D) Adjournment

This notice and agenda was posted at Glenpool City Hall Building, 12205 South Yukon Ave, Glenpool, Oklahoma on _____, at _____ am/pm.

Signed: _____
City Planner

MINUTES
GLENPOOL PLANNING COMMISSION REGULAR
MEETING

A Regular Session of the Glenpool Planning Commission was held at 6:30 p.m. on Monday, November 13, 2017, at Glenpool City Hall, City Council Chambers, 12205 S. Yukon Ave., 3rd Floor, Glenpool, Oklahoma.

Commissioners present:

 x Richard Watts, Chairman
 x Joyce Calvert, Vice-Chairman
 Shayne Buchanan, Commissioner
 x Debra Cutsor, Commissioner
 x Keith Robinson, Commissioner

Staff present:

 x Lynn Burrow, Community Development Director
 x Rick Malone, City Planner
 x Lowell Peterson, City Attorney

Also present were:

Mr. Rutledge, Mr & Mrs. Alan Woodcock, Mr. Duane Snapp, Mr. John Lindsay, Mr. Eric Sack, Attorney for Mr. Lindsay, Mr. Greg Ables, Mr. JR Donelson, Mr. George Sharp and other interested parties.

- A) Chairman Watts called the meeting to order at 6:58 p.m.
- B) Rick Malone, secretary called the roll, Chairman Watts declared a quorum present
- C) Scheduled Business

- 1) Discussion and possible action to approve minutes from October 9, 2017.

MOTION: Commissioner: Cutsor to approve the minutes as written.

SECOND: Commissioner: Watts, Calvert, Buchanan, Cutsor, Robinson

TO: Approve the minutes as written.

FOR: x Richard Watts, Chairman
 x Joyce Calvert, Vice-Chairman
 Shayne Buchanan, Commissioner
 x Debra Cutsor, Commissioner
 x Keith Robinson, Commissioner

- 2) Review and possible action to recommend to the City Council approval, conditional approval, or disapproval of case GZ-266, a request to change the zoning classification from AG to RS-3 on 26.97 acres & AG to CS on 2.85 acres located on the north side of 151st Street (Hwy 67) approximately ¼ mile east of Elwood Ave.

MOTION: Commissioner: Robinson

SECOND: Commissioner: None

TO: Motion died due to a lack of a second.

FOR: ☐ Richard Watts, Chairman
☐ Joyce Calvert, Vice-Chairman
☐ Shayne Buchanan, Commissioner
☐ Debra Cutsor, Commissioner
☐ Keith Robinson, Commissioner

- 3) Review and possible action to approve Lot Split: GLS-223. A request to split an unplatted 130' x 310' tract into two lots (130'x100' & 130'x210'). This property is located approximately 1,800 feet north of the northeast corner of 151st St. and S. 26th W.Ave.

MOTION: Commissioner: Calvert

SECOND: Commissioner: Robinson

TO: Approve GLS-223 subject to TAC and Staff recommendations.

FOR: ☒ Richard Watts, Chairman
☒ Joyce Calvert, Vice-Chairman
☐ Shayne Buchanan, Commissioner
☒ Debra Cutsor, Commissioner
☒ Keith Robinson, Commissioner

- 4) Review and possible action to recommend to the City Council approval, conditional approval, or disapproval of the Final Plat: (ELM POINTE) a 10.76-acre parcel located at the northwest corner of 141st St. and Peoria Ave. into 8 lots and one block.

MOTION: Commissioner: Cutsor

SECOND: Commissioner: Calvert

TO: Approve the Final Plat for Elm Pointe subject to TAC and Staff recommendations.

FOR: ☒ Richard Watts, Chairman
☒ Joyce Calvert, Vice-Chairman
☐ Shayne Buchanan, Commissioner
☒ Debra Cutsor, Commissioner
☒ Keith Robinson, Commissioner

- 5) Review and possible action to recommend to the City Council approval, conditional approval, or disapproval of the updates of the Glenpool Comprehensive Plan.

MOTION: Commissioner: Cutsor

SECOND: Commissioner: Robinson

TO: Recommend approval of the updates of the Glenpool Comprehensive Plan.

FOR: ☒ Richard Watts, Chairman
☒ Joyce Calvert, Vice-Chairman
☐ Shayne Buchanan, Commissioner
☒ Debra Cutsor, Commissioner
☒ Keith Robinson, Commissioner

- 6) Review and possible action to recommend to the City Council approval, conditional approval, or disapproval of the update of the Glenpool Zoning Code.

MOTION: Commissioner: Cutsor

SECOND: Commissioner: Watts

TO Recommend approval of the updates of the Glenpool Zoning Code.

FOR: x Richard Watts, Chairman
 x Joyce Calvert, Vice-Chairman
 Shayne Buchanan, Commissioner
 x Debra Cutsor, Commissioner
 x Keith Robinson, Commissioner

- 7) Review and possible action to recommend to the City Council approval, conditional approval, or disapproval of the update of the Glenpool Subdivision Regulations.

MOTION: Commissioner: Robinson

SECOND: Commissioner: Cutsor

TO Recommend approval of the updates of the Glenpool Subdivision Regulations.

FOR: x Richard Watts, Chairman
 x Joyce Calvert, Vice-Chairman
 Shayne Buchanan, Commissioner
 x Debra Cutsor, Commissioner
 x Keith Robinson, Commissioner

D) Adjournment

- Meeting was adjourned at 8:10 p.m.

Signature: Chairman Watts

ATTEST:

Rick Malone, Secretary

STAFF REPORT

TO: Glenpool Planning Commission

FROM: Rick Malone, City Planner

DATE: December 11, 2017

RE: **GZ-266:** Request for approval of a Zone Change on 26.97 acres from AG (Agriculture District) to RS-3 (Residential Single Family High Density District) on the following described property: The request to rezone 2.85 acres from AG to CS (Commercial Shopping District) has been withdrawn by the applicant.

SIZE: 26.97 Total Acres

LOCATED: North and east of the northeast corner of 151st Street (Highway 67) and Elwood Ave.

LEGAL DESCRIPTION: (AG to RS-3)

A TRACT OF LAND THAT IS PART OF THE EAST HALF (E/2) OF THE SOUTHWEST QUARTER (SW/4) OF SECTION THIRTEEN (13), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE SW/4 OF SAID SECTION 13; THENCE NORTH 01°08'05" WEST ALONG THE EAST LINE OF THE SW/4 A DISTANCE OF 360.64 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88°38'10" WEST 662.06 FEET TO A POINT ON THE EAST LINE OF THE SW/4 OF THE SE/4 OF THE SW/4 OF SECTION 13; THENCE NORTH 01°07'50" WEST ALONG SAID EAST LINE .55 FEET TO THE NORTHEAST CORNER OF THE SW/4 OF THE SE/4 OF THE SW/4; THENCE SOUTH 88°35'44" WEST ALONG THE NORTH LINE OF THE SW/4 OF THE SE/4 OF THE SW/4 A DISTANCE OF 374.26 FEET TO THE NORTHEAST CORNER OF LOT 2, BLOCK 1, ANGLICAN CHURCH OF THE RESURRECTION, FILED AS PLAT #6373; THENCE SOUTH 01°07'36" EAST 350.15 FEET TO THE SOUTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 88°36'13" WEST 287.78 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2 AND THE WEST LINE OF THE E/2 OF THE SW/4 OF SECTION 13; THENCE NORTH 01°07'35" WEST ALONG SAID WEST LINE 1010.83 FEET; THENCE NORTH 88°34'51" EAST A DISTANCE OF 1323.99 FEET TO A POINT ON THE EAST LINE OF THE SW/4; THENCE SOUTH 01°08'05" EAST ALONG THE EAST LINE OF THE SW/4 A DISTANCE OF 961.70 FEET TO THE POINT OF BEGINNING.
SAID TRACT CONTAINS 1,174,808.93 SQUARE FEET OR 26.97 ACRES.

INTRODUCTION

This application consists of a request to rezone 26.97 acres from AG to RS-3 adjacent to US 67 (151st Street). This site did include a farmhouse which has been removed and the property is vacant. In a previous zoning case GZ-260/PUD 36, the current owners requested rezoning of 67 acres from AG/RS-3 to RS-4 and CG with a companion PUD. On 6/12/17, the Planning Commission voted 2-0 to approve the rezoning and the motion failed due to lack of a majority vote. The companion PUD 36 was therefore moot. On 7/6/17, the City Council voted 2-0 to approve GZ-260 and that motion likewise failed due to lack of a majority vote, and PUD 36 was moot. On 11/13/17 The Planning Commission heard application GZ-266 with the CS component included and a motion was made for approval and the motion did not receive a second. This application was not sent to the City Council because a recommendation from the Planning Commission was not obtained. Since that hearing, the applicant has withdrawn the CS component of the request.

The surrounding property is developed as:

- North: RS-3, Residential Single-Family Subdivisions Glen Village and Glen Village 2:
- East: RE, Vacant undeveloped land.
- West: RS-4/PUD 27 Mansfield Lane Addition
- South: AG, Vacant, undeveloped land, outside the city limits of Glenpool, Tulsa County

COMPREHENSIVE PLAN:

The 2030 City of Glenpool Comprehensive Plan designates the subject tract as residential, which is by definition low intensity. Residential zoning requires single family use of less than 5.2 dwelling units per acre to be in conformance with the Plan. The request is for RS-3, which allows for a maximum of 4 dwelling units per acre. The Applicant's concept plan shows 84 single-family lots which will be 3.11 units per acre.

GENERAL INTENSITIES. The 2030 PLAN classifies general land use intensities as follows:

- **Low Intensity.** Low Intensity areas are areas of reduced activity characterized as living areas for residential and related activities and uses. Good accessibility and services are necessary. Zoning classifications included in this intensity category are the AG, and all RE and RS districts.
- RS-3 zoning allows 4 units per acre, which is considered Low Intensity.

STAFF RECOMMENDATION

The proposed zone change is consistent with the guidelines of the City of Glenpool Comprehensive Plan and surrounding uses, and the staff recommends approval of GZ-266 from AG to RS-3 per revised application.

CITY ATTORNEY NOTE:

As the Commission is aware, this application has been filed by the same applicant who submitted an RS-4 and CG application for consideration by the Commission and the City Council in May 2016. Upon denial of the zone change, the applicant took an appeal of that decision to the Tulsa County District Court, as was his right under the applicable statute and our Code. It is important that the Commission gives the current application, RS-3 only (no CG), a fair and complete review with no consideration of the previous application or the current legal action. It is indisputable that RS-3 is consistent with the Comprehensive Plan and this application is drafted to allow a fewer number of units per acre than would otherwise be allowed in an RS-3 zone. The City Attorney concurs in the recommendation or approval.

STAFF EXHIBITS

1. Case Map
2. Application

Richard Malone

From: Ryan McCarty <ryan@selectdesignok.com>
Sent: Wednesday, November 22, 2017 11:25 AM
To: Richard Malone
Cc: 'Robert Lemons'
Subject: RE: GZ-266

Thanks Rick – we would like to proceed with the 12/11/2017 meeting for Residential Zoning only and withdraw the Commercial Zoning request.

FYI – I just sent another email about the signage.

Ryan McCarty
President

Select Design

11063D S Memorial Dr #351
Tulsa, OK 74133
Phone: (918) 798-8356
www.selectdesignok.com

From: Richard Malone [mailto:rmalone@cityofglenpool.com]
Sent: Tuesday, November 21, 2017 3:07 PM
To: ryan@selectdesignok.com
Subject: GZ-266

Ryan:

I talked with Lowell, we do not need to readvertise if all you want to do is withdraw the CS portion of your application and it is scheduled to be heard by the Planning Commission on 12/11/17.

PS: Did you receive my email from yesterday about the signs? Please advise.

Thanks,

Rick Malone
City Planner
(918) 209-4617
rmalone@cityofglenpool.com



Lomb

CITY OF GLENPOOL PLANNING COMMISSION

CASE NUMBER 162-2610

~~X~~ ZONING [] PUD [] PUD AMENDMENT

12205 S. Yukon Ave - Glenpool, Oklahoma 74033 - (918) 209-4610 - FAX (918) 209-4611

www.glenpoolonline.com

APPLICATION INFORMATION

RECEIVED BY: Day DATE FILED: 9/29/17 TAC DATE: N/A PC DATE: 11/13/17 CITY COUNCIL DATE: 12/12/17

☐ RES ☒ NON-RES ☐ COMBO RELATED ZONING OR PUD #: _____ BUILDING PERMIT APPLICATION NUMBER _____

☒ GLENPOOL CITY LIMITS NEIGHBORHOOD ASSOCIATIONS: _____

SUBJECT PROPERTY INFORMATION

ADDRESS OR DESCRIPTIVE LOCATION: N. Side of S.H. 67 - E. of Elwood ^{1/4 mi. 1/2} TRACT SIZE: 2.85 Ac.

LEGAL DESCRIPTION: See Attached Exhibit

PRESENT USE: Vacant PRESENT ZONING: AG

INFORMATION ABOUT YOUR PROPOSAL

PROPOSED NEW ZONING: CS DEV. AREAS AFFECTED BY PUD AMENDMENT: _____ PUD PROPOSAL ATTACHED ☐ Y ☒ N

PROPOSED USE: All uses under CS Zoning NATURE OF PUD AMENDMENT: _____

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
NAME <u>Select Design</u>	NAME <u>Cardinal Industries, LLC</u>
ADDRESS <u>11063D S. Memorial Dr. #351</u>	ADDRESS <u>2850 East 101st Street</u>
CITY, ST, ZIP <u>Tulsa, OK 74133</u>	CITY, ST, ZIP <u>Tulsa, OK 74137</u>
DAYTIME PHONE <u>918-798-8356</u>	DAYTIME PHONE <u>918-299-0396</u>
EMAIL <u>ryan@selectdesignok.com</u>	EMAIL <u>raddevelopment@cox.net</u>
FAX _____	FAX _____

I, THE UNDERSIGNED APPLICANT, CERTIFY THAT THE INFORMATION ON THIS APPLICATION IS TRUE AND CORRECT.

SIGNATURE & DATE: [Signature] 9/27/2017

DOES OWNER CONSENT TO THIS APPLICATION ☒ Y ☐ N. WHAT IS APPLICANT'S RELATIONSHIP TO OWNER? Consultant

APPLICATION FEES			
BASE APPLICATION FEE	\$		
ADDITIONAL FEE	ACRES x SLIDING FEE =	\$	APPLICATION SUBTOTAL \$
NEWSPAPER PUBLICATION TO BE BILLED TO APPLICANT		\$	
SIGNS	\$50 X =	\$	
300' PROPERTY OWNERS MAILING & POSTAGE	\$1.00 per Name =	\$	NOTICE SUBTOTAL \$
RECEIPT NUMBER:		TOTAL AMOUNT DUE	\$

APPLICATION FEES IN WHOLE OR PART WILL NOT BE REFUNDED AFTER NOTIFICATION HAS BEEN GIVEN.

DISPOSITION

STAFF RECOMMENDATION:	
PC RECOMMENDATION:	PC ACTION DATE/VOTE:
CITY COUNCIL ACTION DATE/VOTE	ORDINANCE NO:
PLAT NAME	PLAT WAIVER [] Y [] N

PLATTING REQUIREMENT

For the purposes of providing a proper arrangement of streets and assuring the adequacy of open spaces for traffic, utilities, and access of emergency vehicles, commensurate with the intensification of land use customarily incident to a change of zoning, a platting requirement is established as follows:

For any land which has been rezoned to a zoning classification other than AG upon application of a private party or for any land which has been granted a special exception by the Board of Adjustment as enumerated within Use Units 2, 4, 5, 8, and 20, no building permit or zoning clearance permit shall be issued until that portion of the tract on which the permit is sought has been included within a subdivision plat or replat, as the case may be, submitted to and approved by the Planning Commission, and filed of record in the office of the County Clerk where the property is situated. Provided that the Planning Commission, pursuant to their exclusive jurisdiction of subdivision plats, may remove the platting requirement upon a determination that the above stated purposes have been achieved by previous platting or could not be achieved by a plat or replat.

I hereby certify that I have read and understand the above requirements and that I will plat, replat or have the platting requirements waived for the subject property in case number _____.


Applicant's Signature

9/27/2017
Date

Glenpool Planning Commission Case Number: _____

- **Technical Advisory Committee (TAC) Meeting Date:** _____ Friday, _____ 10:00 a.m.

Glenpool Community Development Conference Room
Glenpool City Hall/Conference Center 2nd Floor
12205 South Yukon Ave, Glenpool, Oklahoma 74033

- **Glenpool Planning Commission: Date:** _____ Monday, _____ 6:30 p.m.

Glenpool City Council Chambers
Glenpool City Hall/Conference Center 3rd Floor
12205 South Yukon Ave, Glenpool, Oklahoma 74033

- **Glenpool City Council: Date:** _____ Monday, _____ 7:00 p.m.

Glenpool City Council Chambers
Glenpool City Hall/Conference Center 3rd Floor
12205 South Yukon Ave, Glenpool, Oklahoma 74033

A person knowledgeable of the application and the property must attend the meetings listed above to represent the application. Site Plans and development proposals should be submitted at the time of application. Photos or renderings may be presented at the hearing.

CITY OF GLENPOOL PLANNING COMMISSION

CASE NUMBER _____

~~ZONING~~ [] PUD [] PUD AMENDMENT

12205 S. Yukon Ave - Glenpool, Oklahoma 74033 - (918) 209-4610 - FAX (918) 209-4611

www.glenpoolonline.com

APPLICATION INFORMATION

RECEIVED BY: _____ DATE FILED: _____ TAC DATE: _____ PC DATE: _____ CITY COUNCIL DATE: _____

☒ RES ☐ NON-RES ☐ COMBO RELATED ZONING OR PUD #: _____ BUILDING PERMIT APPLICATION NUMBER _____☒ GLENPOOL CITY LIMITS NEIGHBORHOOD ASSOCIATIONS: _____

SUBJECT PROPERTY INFORMATION

ADDRESS OR DESCRIPTIVE LOCATION: N. Side of S.H. 67 - 1/4 mile E. of Elwood TRACT SIZE: 26.97 Ac.LEGAL DESCRIPTION: See Attached ExhibitPRESENT USE: Vacant PRESENT ZONING: AG

INFORMATION ABOUT YOUR PROPOSAL

PROPOSED NEW ZONING: RS-3 DEV. AREAS AFFECTED BY PUD AMENDMENT: _____ PUD PROPOSAL ATTACHED ☐ ☒ NPROPOSED USE: Single-Family Residential NATURE OF PUD AMENDMENT: _____

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
NAME <u>Select Design</u>	NAME <u>Caroline Industries, LLC</u>
ADDRESS <u>110631D S. Memorial Dr. #351</u>	ADDRESS <u>2850 East 101st Street</u>
CITY, ST, ZIP <u>Tulsa, OK 74133</u>	CITY, ST, ZIP <u>Tulsa, OK 74137</u>
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EMAIL <u>ryan@selectdesignok.com</u>	EMAIL <u>raddevelopment@cox.net</u>
FAX _____	FAX _____
I, THE UNDERSIGNED APPLICANT, CERTIFY THAT THE INFORMATION ON THIS APPLICATION IS TRUE AND CORRECT.	
SIGNATURE & DATE: <u>[Signature]</u> <u>9/27/2017</u>	

DOES OWNER CONSENT TO THIS APPLICATION ☒ ☐ N. WHAT IS APPLICANT'S RELATIONSHIP TO OWNER? Consultant

APPLICATION FEES			
BASE APPLICATION FEE		\$	
ADDITIONAL FEE	ACRES x SLIDING FEE =	\$	APPLICATION SUBTOTAL \$
NEWSPAPER PUBLICATION TO BE BILLED TO APPLICANT		\$	
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RECEIPT NUMBER:		TOTAL AMOUNT DUE \$	

APPLICATION FEES IN WHOLE OR PART WILL NOT BE REFUNDED AFTER NOTIFICATION HAS BEEN GIVEN.

DISPOSITION

STAFF RECOMMENDATION:			
PC RECOMMENDATION:		PC ACTION	DATE/VOTE:
CITY COUNCIL ACTION	DATE/VOTE	ORDINANCE NO:	
PLAT NAME		PLAT WAIVER [] Y [] N	

PLATTING REQUIREMENT

For the purposes of providing a proper arrangement of streets and assuring the adequacy of open spaces for traffic, utilities, and access of emergency vehicles, commensurate with the intensification of land use customarily incident to a change of zoning, a platting requirement is established as follows:

For any land which has been rezoned to a zoning classification other than AG upon application of a private party or for any land which has been granted a special exception by the Board of Adjustment as enumerated within Use Units 2, 4, 5, 8, and 20, no building permit or zoning clearance permit shall be issued until that portion of the tract on which the permit is sought has been included within a subdivision plat or replat, as the case may be, submitted to and approved by the Planning Commission, and filed of record in the office of the County Clerk where the property is situated. Provided that the Planning Commission, pursuant to their exclusive jurisdiction of subdivision plats, may remove the platting requirement upon a determination that the above stated purposes have been achieved by previous platting or could not be achieved by a plat or replat.

I hereby certify that I have read and understand the above requirements and that I will plat, replat or have the platting requirements waived for the subject property in case number _____.


Applicant's Signature

9/27/2017
Date

Glenpool Planning Commission Case Number: _____

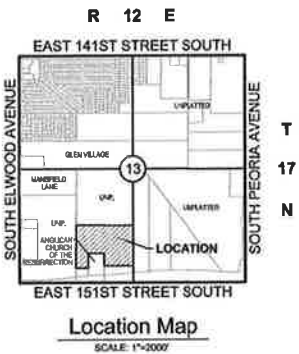
<ul style="list-style-type: none">• Technical Advisory Committee (TAC) Meeting Date: _____ Friday, _____ 10:00 a.m. Glenpool Community Development Conference Room Glenpool City Hall/Conference Center 2nd Floor 12205 South Yukon Ave, Glenpool, Oklahoma 74033
<ul style="list-style-type: none">• Glenpool Planning Commission: Date: _____ Monday, _____ 6:30 p.m. Glenpool City Council Chambers Glenpool City Hall/Conference Center 3rd Floor 12205 South Yukon Ave, Glenpool, Oklahoma 74033
<ul style="list-style-type: none">• Glenpool City Council: Date: _____ Monday, _____ 7:00 p.m. Glenpool City Council Chambers Glenpool City Hall/Conference Center 3rd Floor 12205 South Yukon Ave, Glenpool, Oklahoma 74033

A person knowledgeable of the application and the property must attend the meetings listed above to represent the application. Site Plans and development proposals should be submitted at the time of application. Photos or renderings may be presented at the hearing.

Glenpool, Oklahoma

Conceptual Site Plan

RS-3 ZONING



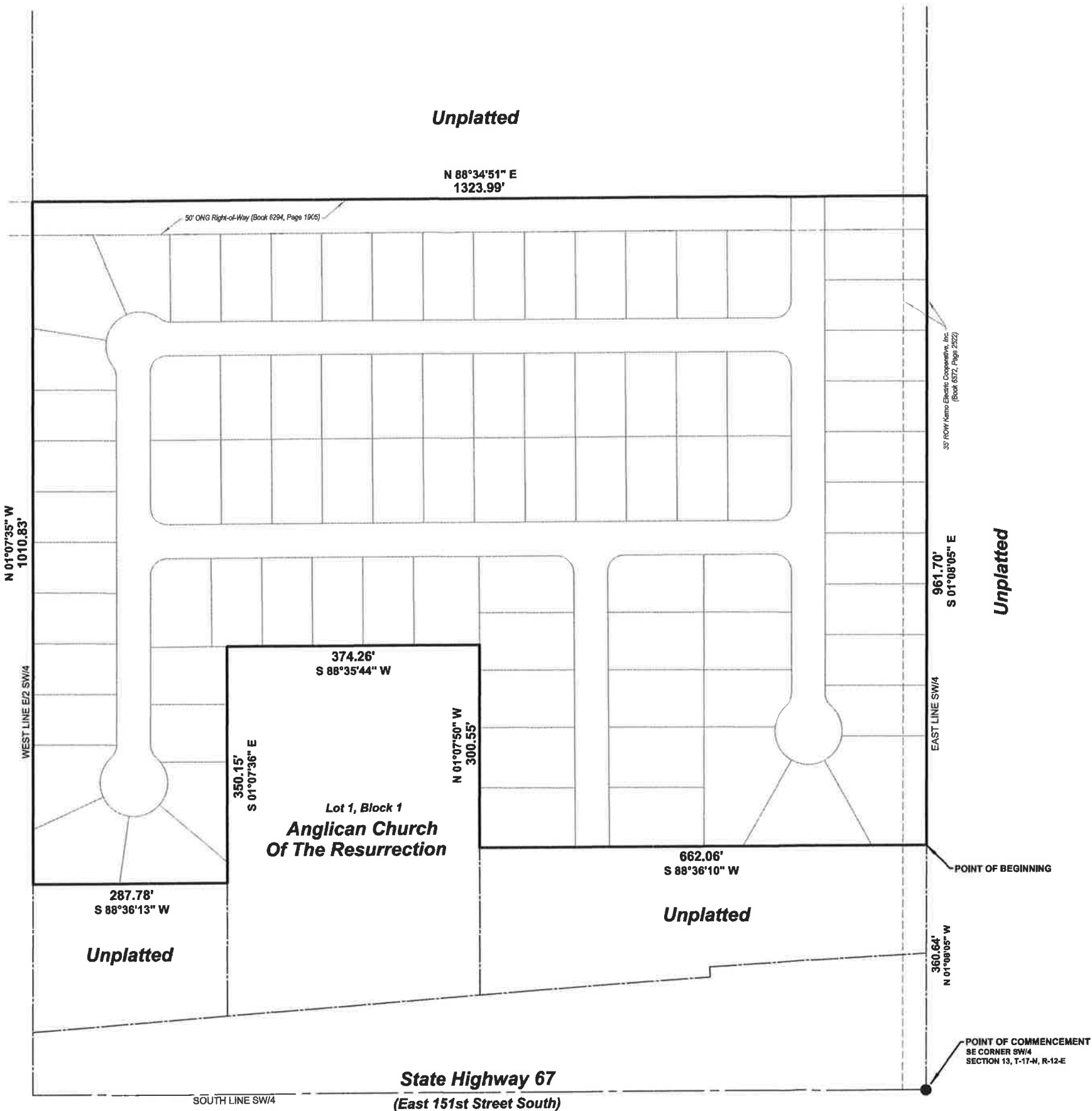
LEGAL DESCRIPTION

A TRACT OF LAND THAT IS PART OF THE EAST HALF (E/2) OF THE SOUTHWEST QUARTER (SW/4) OF SECTION THIRTEEN (13), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE SW/4 OF SAID SECTION 13; THENCE NORTH 01°08'05" WEST ALONG THE EAST LINE OF THE SW/4 A DISTANCE OF 360.64 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88°36'10" WEST 662.08 FEET TO A POINT ON THE EAST LINE OF THE SW/4 OF THE SE/4 OF THE SW/4 OF SECTION 13; THENCE NORTH 01°07'50" WEST ALONG SAID EAST LINE 300.55 FEET TO THE NORTHEAST CORNER OF THE SW/4 OF THE SE/4 OF THE SW/4; THENCE SOUTH 88°35'44" WEST ALONG THE NORTH LINE OF THE SW/4 OF THE SE/4 OF THE SW/4 A DISTANCE OF 374.26 FEET TO THE NORTHEAST CORNER OF LOT 2, BLOCK 1, ANGLICAN CHURCH OF THE RESURRECTION, FILED AS PLAT #6373; THENCE SOUTH 01°07'36" EAST 350.15 FEET TO THE SOUTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 88°36'13" WEST 287.78 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2 AND THE WEST LINE OF THE E/2 OF THE SW/4 OF SECTION 13; THENCE NORTH 01°07'35" WEST ALONG SAID WEST LINE 1010.83 FEET; THENCE NORTH 88°34'51" EAST A DISTANCE OF 1323.99 FEET TO A POINT ON THE EAST LINE OF THE SW/4; THENCE SOUTH 01°08'05" EAST ALONG THE EAST LINE OF THE SW/4 A DISTANCE OF 961.70 FEET TO THE POINT OF BEGINNING.

SAID TRACT CONTAINS 1,174,808.93 SQUARE FEET OR 26.97 ACRES.

BASIS OF BEARING - THE EAST LINE OF THE SW/4 OF SECTION 13 AS N 01°08'05" W.



TO: THE GLENPOOL PLANNING COMMISSION
FROM: RICK MALONE, CITY PLANNER
RE: FINAL SUBDIVISION PLAT OF "GLENPOOL PUBLIC SCHOOLS"
DATE: December 11, 2017

BACKGROUND:

GEODECA representing Glenpool Public School has submitted the Final Subdivision Plat for "GLENPOOL PUBLIC SCHOOL" for Staff and Planning Commission and City Council review and approval. This property is located at the southeast corner of E. 138th Place S. and Elwood Ave. The 15-acre tract is being subdivided into one lot, one block, and one Reserve Area.

ZONING:

This property is currently zoned CS (Commercial Shopping District) and the proposed lot size is consistent with the underlying zoning.

TAC MEETING AND STAFF REVIEW: 12/1/17

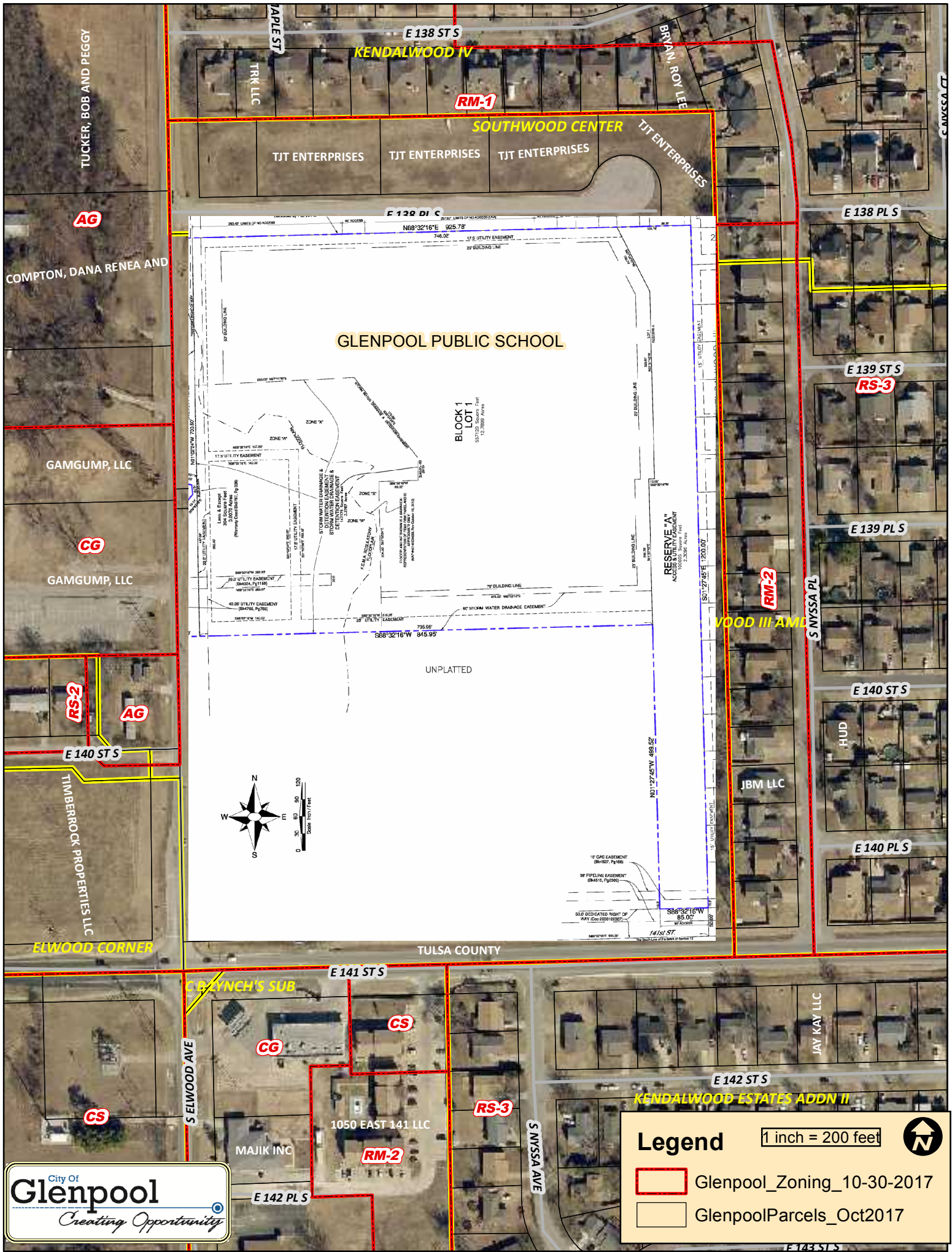
- Water service to be provided by City of Glenpool
- Sanitary sewer service to be provided by City of Glenpool.
- A Certification of Non-Development from Corporation Commission is required prior to Final Subdivision Plat Release for recording.
- Fire Chief approval concerning fire hydrant locations and fire lanes necessary for Site Plan approval.
- ADA compliant sidewalks required.
- "Bus-loop" roadway to be constructed within a separate lot or reserve area and constructed to City standard design criteria & specifications so it can be dedicated to the City at a later date.
- Site Plan application must be approved by the Planning Commission prior to issuing any building permit for the project
- Need ODEQ permit applications for the public water and sewer extensions necessary to serve the project.
- Assigned street address for Lot 1, Block 1: 1140 E. 138th Place.
- As-built plans for all public improvements to be required prior to Certificate of Occupancy issued for the building.
- Earth Change Permit and ODEQ NOI is required prior to start of construction

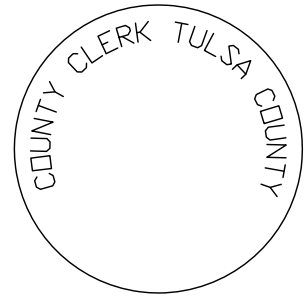
RECOMMENDATION:

Staff recommends conditional approval of the Final Subdivision Plat of "GLENPOOL PUBLIC SCHOOL" subject to the above listed conditions of the Staff and TAC review of December 1, 2017.

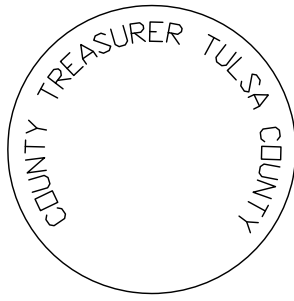
ATTACHMENTS:

1. Case Map
2. Plat of "GLENPOOL PUBLIC SCHOOL".





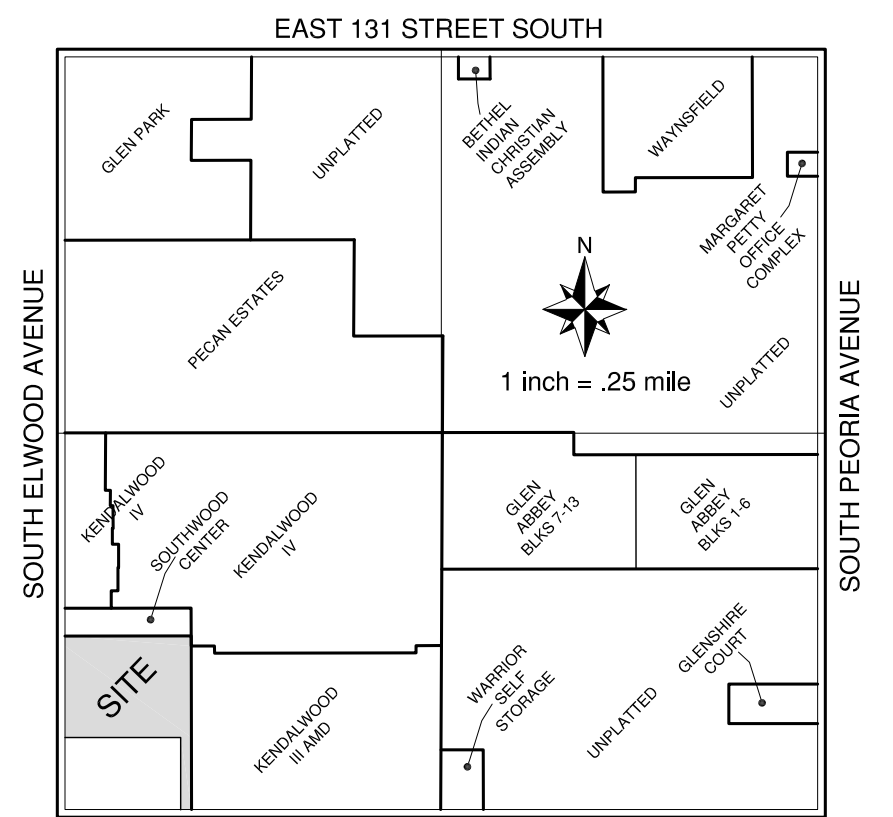
CERTIFICATE



GLENPOOL PUBLIC SCHOOLS ADDITION

An Addition to the City of Glenpool
being a subdivision of Southwest Quarter of Section 12,
Township 17 North, Range 12 East
Indian Meridian, Tulsa County, State of Oklahoma

LOCATION MAP



SECTION 12, T-17-N, R-12-E TULSA COUNTY

Owners

Glenpool Public Schools District-13
Jerry Olansen, Superintendent
461 E 146th St, Glenpool, OK 74033
Phone: 918-322-9500
jdolansen@glenpoolps.org

Engineer

Walter P. Moore & Associates, Inc.
TRIAD I, 7666 East 61st Street, Suite 251
Tulsa, OK 74133
918 806 7200
hallen@walterpmoore.com
CA # 1587 Renewal Date June 30th 2018

Surveyor

GEODECA LLC
6028 S. 66th E. Ave, Suite 101
Tulsa, Oklahoma 74145
918 949 4064
rmuzika@geodeca.com
CA # 5524 Renewal Date June 30th 2018

Statistics

Subdivision Contains
1 Block with 1 Lot and 1 Reserve
Gross Area is 692455 Square Feet or 15.8966 Acres
Right of Way Dedicated is 34721 Square Feet or 0.7971 Acres
Lot 1 of Block 1 is 557129 Square Feet or 12.7899 Acres
Reserve A is 100605 Square Feet or 2.3096 Acres

Address

1140 E. 138th Place

Basis of Bearing

Assumed Bearing of
N01°02'24"W along the West line of the SW/4 of
Section 12, T-17-N, R-12-E

Monumentation

Corners Monumented with a
#3 Rebar with Plastic Cap
or a Spike with Steel Washer,
stamped "CA923" from Previous Surveyor or
"GEODECA CA5524"
Unless Monument Found

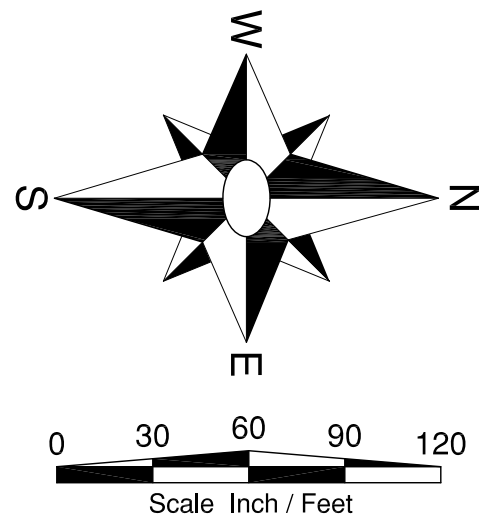
Flood Zone

Subdivision within Flood Zone A & Zone X
FEMA FIRM Map Number 40037C0428L
Effective Date October 16, 2012

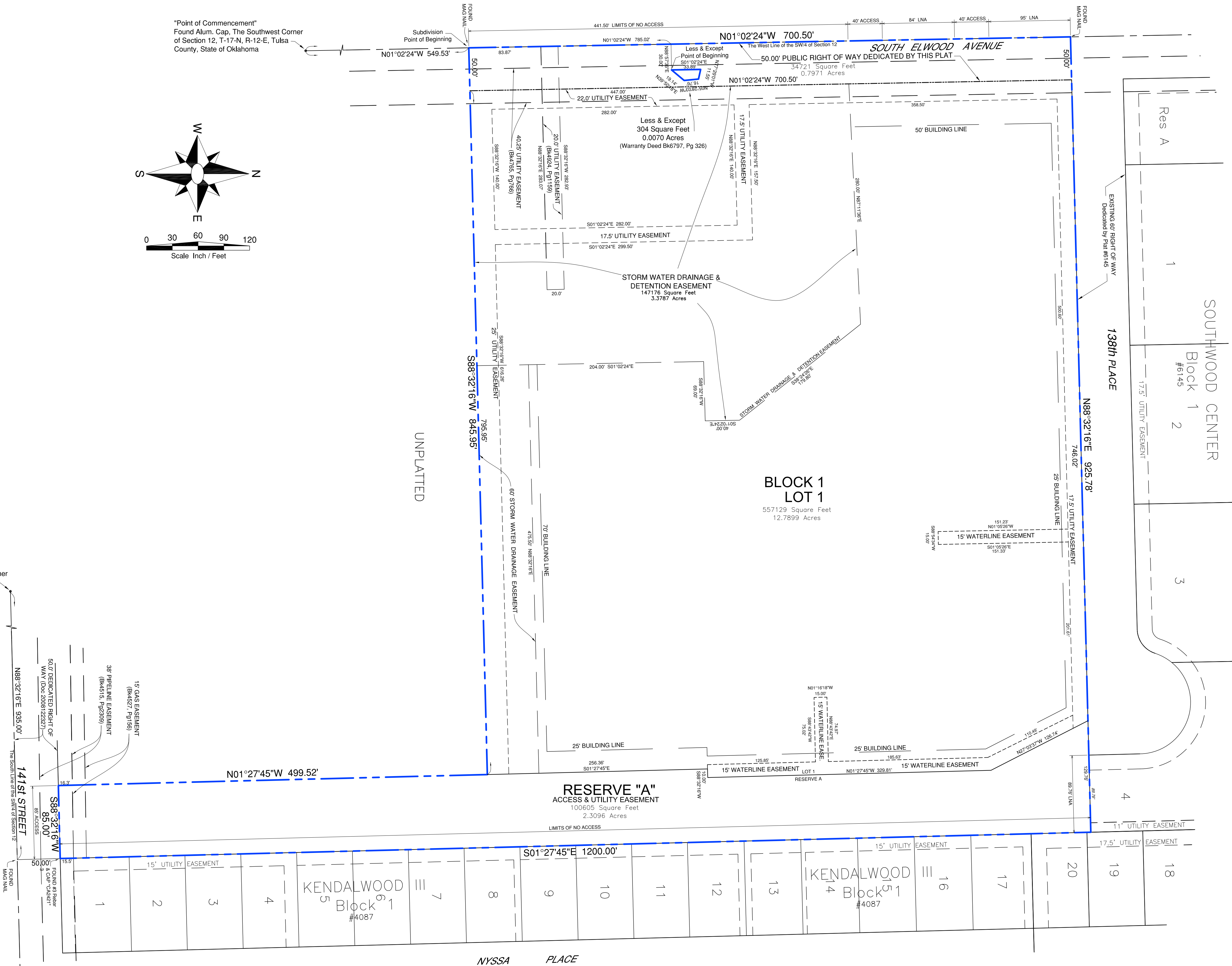
Benchmark

ADS #533
5/8" REBAR & ALUMINUM CAP
Set Northeast of 141st Street and Elwood
Elevation = 715.28 NAVD 1988

"Point of Commencement"
Found Alum. Cap. The Southwest Corner
of Section 12, T-17-N, R-12-E, Tulsa
County, State of Oklahoma



Found Alum. Cap. The Southwest Corner
of Section 12, T-17-N, R-12-E, Tulsa
County, State of Oklahoma



* Addresses shown on this plat are accurate as of the time the
plat was filed. Addresses are subject to change and should
never be relied on in place of a legal description.

GLENPOOL PUBLIC SCHOOLS ADDITION

An Addition to the City of Glenpool
being a subdivision of Southwest Quarter of Section 12,
Township 17 North, Range 12 East
Indian Meridian, Tulsa County, State of Oklahoma

DEED OF DEDICATION AND RESTRICTIVE COVENANTS

KNOW ALL MEN BY THESE PRESENTS:
THAT GLENPOOL PUBLIC SCHOOLS DISTRICT I-13 IS THE OWNER OF THE FOLLOWING DESCRIBED LAND SITUATED IN THE CITY OF GLENPOOL, TULSA COUNTY, STATE OF OKLAHOMA, TO-WIT:

A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE SOUTWEST QUARTER (SW/4 SW/4) OF SECTION TWELVE (12), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SW/4 SW/4, THENCE N01°02'24"W ALONG THE WEST LINE OF SAID SW/4 SW/4 A DISTANCE OF 549.53 FEET TO THE POINT OF BEGINNING, THENCE CONTINUING ALONG SAID WEST LINE N01°02'24" W A DISTANCE OF 700.50 FEET TO A POINT ON THE WESTERLY EXTENSION OF THE SOUTH RIGHT-OF-WAY LINE OF 138TH PLACE, AS SHOWN ON THE RECORDED PLAT OF "SOUTHWOOD CENTER", AN ADDITION TO THE CITY OF GLENPOOL, TULSA COUNTY, STATE OF OKLAHOMA; THENCE N88°32'16"E ALONG SAID SOUTH LINE A DISTANCE OF 925.78 FEET TO THE SOUTHEAST CORNER OF LOT FOUR (4), BLOCK ONE (1) "SOUTHWOOD CENTER", SAID CORNER BEING ON THE WEST LINE OF BLOCK ONE (1), "KENDALWOOD III", AN ADDITION TO THE CITY OF GLENPOOL, TULSA COUNTY, STATE OF OKLAHOMA; THENCE ALONG SAID WEST LINE S01°27'45"E A DISTANCE OF 1200.00 FEET TO A POINT 50.00 FEET FROM THE SOUTH LINE OF THE SW/4 SW/4; THENCE S88°32'16"W A DISTANCE OF 85.00 FEET; THENCE N01°27'45"W AND PARALLEL TO THE WEST LINE OF LOT 1, "KENDALWOOD III" A DISTANCE OF 499.52 FEET; THENCE S88°32'16"W AND PARALLEL TO THE SOUTH LINE OF THE SW/4 SW/4 A DISTANCE OF 845.95 FEET TO THE POINT OF BEGINNING. SAID TRACT OF LAND CONTAINING 692759 SQUARE FEET OR 15.9036 ACRES. LESS AND EXCEPT A TRACT OF LAND THAT IS PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (SW/4 SW/4) OF SECTION TWELVE (12), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, SAID TRACT OF LAND BEING DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SW/4 SW/4; THENCE N01°02'24"W ALONG THE WESTERLY LINE OF SAID SW/4 SW/4 FOR 785.02 FEET; THENCE N88°57'36"E FOR 30.00 FEET TO THE POINT OF BEGINNING OF SAID TRACT OF LAND; THENCE N39°50'18"E FOR 19.14 FEET; THENCE N05°28'03"W FOR 16.76 FEET; THENCE N77°29'01"W FOR 11.55 FEET; THENCE SOUTHERLY PARALLEL WITH AND 30.00 FEET EASTERLY OF AS MEASURED PERPENDICULARLY TO SAID WESTERLY LINE OF THE SOUTHWEST QUARTER OF SECTION TWELVE (12), FOR 33.89 FEET TO THE POINT OF BEGINNING OF SAID TRACT OF LAND. SAID TRACT OF LAND CONTAINING 304 SQUARE FEET OR 0.007 ACRES.

SUBDIVISION AREA CONTAINS 692455 SQUARE FEET OR 15.8966 ACRES.

AND THAT GLENPOOL PUBLIC SCHOOLS DISTRICT I-13, HEREINAFTER REFERRED TO AS "OWNER", HAS CAUSED THE ABOVE DESCRIBED LAND TO BE SURVEYED, STAKED, PLATTED AND SUBDIVIDED INTO ONE LOT, ONE BLOCK, IN CONFORMITY WITH THE ACCOMPANYING PLAT IN THE CITY OF GLENPOOL, TULSA COUNTY, OKLAHOMA.

SECTION I. UTILITY EASEMENTS

A. UTILITY EASEMENTS:

HEREBY THE OWNER DEDICATES TO THE PUBLIC THE UTILITY EASEMENTS DESIGNATED AS "UE" OR "UTILITY EASEMENT" FOR THE SEVERAL PURPOSES OF CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING, REPLACING, AND/OR REMOVING ANY AND ALL PUBLIC UTILITIES, INCLUDING STORM SEWERS, SANITARY SEWERS (IF AVAILABLE IN THE FUTURE), TELEPHONE AND COMMUNICATION LINES, ELECTRIC POWER LINES AND TRANSFORMERS, GAS LINES, WATER LINES AND CABLE TELEVISION LINES, TOGETHER WITH ALL FITTINGS, INCLUDING THE POLES, WIRES, CONDUITS, PIPES, VALVES, METERS, MANHOLES AND EQUIPMENT FOR EACH OF SUCH FACILITIES AND ANY OTHER APPURTENANCES THERETO, WITH THE RIGHTS OF INGRESS AND EGRESS TO AND UPON THE UTILITY EASEMENTS FOR THE USES AND PURPOSES STATED, PROVIDED THE OWNER RESERVES THE RIGHT TO CONSTRUCT, MAINTAIN, OPERATE, LAY AND REPAIR OR REPLACE WATER LINES AND SEWER LINES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR SUCH CONSTRUCTION, MAINTENANCE, OPERATION, LAYING, REPAIRING AND RE-LAYING OVER, ACROSS AND ALONG ALL OF THE UTILITY EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT. THE OWNER HEREIN IMPOSES A RESTRICTIVE COVENANT, WHICH COVENANT SHALL BE BINDING ON THE OWNER AND SHALL BE ENFORCEABLE BY THE CITY OF GLENPOOL, OKLAHOMA, AND BY THE SUPPLIER OF ANY AFFECTED UTILITY SERVICE, THAT WITHIN THE UTILITY EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT, NO BUILDING, STRUCTURE OR OTHER ABOVE OR BELOW GROUND OBSTRUCTION THAT INTERFERES WITH STATED USES AND PURPOSES OF THE UTILITY EASEMENTS SHALL BE PLACED, ERECTED, INSTALLED OR MAINTAINED, PROVIDED NOTHING HEREIN SHALL BE DEEMED TO PROHIBIT DRIVES, PARKING AREAS, CURBING, LANDSCAPING AND CUSTOMARY SCREENING FENCES WHICH DO NOT CONSTITUTE AN OBSTRUCTION.

B. UTILITY SERVICE:

1. OVERHEAD LINES FOR THE SUPPLY OF ELECTRIC, TELEPHONE AND CABLE TELEVISION SERVICES MAY BE LOCATED WITHIN THE UTILITY EASEMENTS ALONG S ELWOOD AVE AND E 141ST ST. ELSEWHERE THROUGHOUT THE LOT, ALL SUPPLY LINES INCLUDING ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS LINES SHALL BE LOCATED UNDERGROUND IN EASEMENTS DEDICATED FOR GENERAL UTILITY SERVICE AS DEPICTED ON THE ACCOMPANYING PLAT. SERVICE PEDESTALS AND TRANSFORMERS, AS SOURCES OF SUPPLY AT SECONDARY VOLTAGES, MAY ALSO BE LOCATED IN GENERAL UTILITY EASEMENTS.

2. UNDERGROUND SERVICE CABLES TO ALL STRUCTURES WITHIN THE LOT MAY BE EXTENDED FROM THE NEAREST SERVICE PEDESTAL OR TRANSFORMER TO THE POINT OF USAGE DETERMINED BY THE LOCATION AND CONSTRUCTION OF SUCH STRUCTURE UPON THE LOT, PROVIDED UPON INSTALLATION OF A SERVICE CABLE TO A PARTICULAR STRUCTURE, THE SUPPLIER OF THE SERVICE SHALL THEREAFTER BE DEEMED TO HAVE A DEFINITIVE, PERMANENT, EFFECTIVE AND NON-EXCLUSIVE EASEMENT ON THE LOT, COVERING A 5 FOOT STRIP EXTENDING 2.5 FEET ON EACH SIDE OF THE SERVICE CABLE, SERVICE PEDESTAL OR TRANSFORMER TO THE SERVICE ENTRANCE ON THE STRUCTURE.

3. THE SUPPLIER OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS SERVICE, THROUGH ITS AGENTS AND EMPLOYEES, SHALL AT ALL TIMES HAVE THE RIGHT OF ACCESS TO ALL UTILITY EASEMENTS SHOWN ON THE PLAT OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF THE UNDERGROUND ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS FACILITIES INSTALLED BY THE SUPPLIER OF THE UTILITY SERVICE.

4. THE OWNER OF THE LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND SERVICE FACILITIES LOCATED ON THE OWNER'S LOT AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH THE ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS FACILITIES. EACH SUPPLIER OF THESE SERVICES SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OR UNDERGROUND FACILITIES, BUT THE OWNER OF THE LOT SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER OF THE LOT OR THE OWNER OF THE LOT'S AGENTS OR CONTRACTORS.

5. THE COVENANTS SET FORTH IN THIS SUBSECTION SHALL BE ENFORCEABLE BY EACH SUPPLIER OF THE ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS SERVICE AND THE OWNER OF THE LOT AGREES TO BE BOUND BY THESE COVENANTS, GAS SERVICES:

a. THE SUPPLIER OF GAS SERVICE THROUGH ITS AGENTS AND EMPLOYEES SHALL AT ALL TIMES HAVE THE RIGHT TO ACCESS TO ALL UTILITY EASEMENTS SHOWN ON THE PLAT OR AS OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, REMOVING, REPAIRING, OR REPLACING ANY PORTION OF THE FACILITIES INSTALLED BY THE SUPPLIER OF GAS SERVICE.

b. THE OWNER OF THE LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND GAS FACILITIES LOCATED IN THEIR LOT AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY OTHER CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH THE GAS SERVICE. THE SUPPLIER OF THE GAS SERVICE SHALL BE RESPONSIBLE FOR THE ORDINARY MAINTENANCE OF SAID FACILITIES, BUT THE OWNER OF THE LOT SHALL PAY FOR DAMAGE OR RELOCATION OF FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER OF THE LOT, OR ITS AGENTS OR CONTRACTORS.

c. THE FOREGOING COVENANTS SET FORTH IN THIS PARAGRAPH SHALL BE ENFORCEABLE BY THE SUPPLIER OF THE GAS SERVICE AND THE OWNERS OF THE LOTS AGREE TO BE BOUND BY THESE COVENANTS.

C. PUBLIC WATER, STORM SEWER, AND SANITARY SEWER SERVICE:

1. THE OWNER OF THE LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC WATER MAINS, STORM SEWERS, AND SANITARY SEWER LOCATED ON THE OWNER'S LOT.

2. WITHIN THE UTILITY EASEMENTS, RESTRICTED WATERLINE, STORM SEWER AND DRAINAGE EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT, THE ALTERATION OF GRADE FROM THE CONTOURS EXISTING UPON THE COMPLETION OF THE INSTALLATION OF A PUBLIC WATER MAIN, SANITARY SEWERS OR STORM SEWER OR ANY CONSTRUCTION ACTIVITY WHICH, IN THE JUDGMENT OF THE CITY OF GLENPOOL, WOULD INTERFERE WITH PUBLIC WATER MAINS, SANITARY SEWERS AND STORM SEWERS SHALL BE PROHIBITED, PROVIDED HOWEVER, NOTHING HEREIN SHALL BE DEEMED TO PROHIBIT DRIVES, PARKING AREAS, CURBING, LANDSCAPING, AND CUSTOMARY SCREENING FENCES AND WALLS THAT DO NOT CONSTITUTE AN OBSTRUCTION.

3. THE CITY OF GLENPOOL, OKLAHOMA, OR ITS SUCCESSORS, SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF PUBLIC WATER MAINS, SANITARY SEWERS AND STORM SEWERS BUT THE OWNER OF THE LOT SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER OF THE LOT, THEIR AGENTS OR CONTRACTORS.

4. THE CITY OF GLENPOOL, OKLAHOMA, OR ITS SUCCESSORS, SHALL AT ALL TIMES HAVE RIGHT OF ACCESS TO ALL PUBLIC UTILITY EASEMENTS, RESTRICTED WATERLINE EASEMENTS, STORM SEWER AND DRAINAGE EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT, OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION, FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF UNDERGROUND PUBLIC WATER, SANITARY SEWERS OR STORM SEWER FACILITIES.

5. THE FOREGOING COVENANTS SET FORTH IN THE ABOVE PARAGRAPHS SHALL BE ENFORCEABLE BY THE CITY OF GLENPOOL, OKLAHOMA, OR ITS SUCCESSORS, AND THE OWNER OF THE LOT AGREES TO BE BOUND BY THESE COVENANTS.

D. LOT SURFACE DRAINAGE:
THE LOT SHALL RECEIVE AND DRAIN, IN AN UNOBSTRUCTED MANNER, THE STORM WATER FROM LOTS AND DRAINAGE AREAS OF HIGHER ELEVATION. THE LOT OWNER SHALL NOT CONSTRUCT OR PERMIT TO BE CONSTRUCTED ANY FENCING OR OTHER OBSTRUCTIONS WHICH WOULD IMPAIR THE DRAINAGE OF STORM AND SURFACE WATERS OVER AND ACROSS THE OWNER'S LOT. THE FOREGOING COVENANTS SET FORTH IN THIS PARAGRAPH SHALL BE ENFORCEABLE BY THE LOT OWNER AND BY THE CITY OF GLENPOOL, OKLAHOMA.

E. PAVING AND LANDSCAPING WITHIN EASEMENTS:
THE OWNER OF THE LOT DEPICTED ON THE ACCOMPANYING PLAT SHALL BE RESPONSIBLE FOR THE REPAIR OF DAMAGE TO LANDSCAPING, AND PAVING OCCASIONED BY INSTALLATION OR NECESSARY MAINTENANCE OF UNDERGROUND WATER, SANITARY SEWER, STORM SEWER, NATURAL GAS, COMMUNICATION, CABLE TELEVISION OR ELECTRIC FACILITIES WITHIN THE EASEMENT AREAS DEPICTED UPON THE ACCOMPANYING PLAT, PROVIDED THE CITY OF GLENPOOL, OKLAHOMA, OR ITS SUCCESSORS, OR THE SUPPLIER OF THE UTILITY SERVICE SHALL USE REASONABLE CARE IN THE PERFORMANCE OF SUCH ACTIVITIES.

F. LIMITS OF NO ACCESS:
THE OWNER HEREBY RELINQUISHES RIGHTS OF VEHICULAR INGRESS OR EGRESS FROM ANY PORTION OF THE PROPERTY ADJACENT TO SOUTH ELWOOD, 141ST STREET AND RESERVE "A" WITHIN THE BOUNDS DESIGNATED AS "LIMITS OF NO ACCESS" ON THE ACCOMPANYING PLAT, ANY SUCH "LIMITS OF NO ACCESS" MAY BE AMENDED OR RELEASED BY THE CITY OF GLENPOOL, OR ITS SUCCESSOR, WITH THE APPROVAL OF THE THE CITY OF GLENPOOL, OR AS OTHERWISE PROVIDED BY THE STATUTES AND LAWS OF THE STATE OF OKLAHOMA PERTAINING THERETO.

G. STORM WATER DETENTION EASEMENT AND OVERLAND DRAINAGE EASEMENT:
1. THE OWNER DOES HEREBY DEDICATE TO THE PUBLIC A PERPETUAL EASEMENT ON, OVER, AND ACROSS THE PROPERTY DESIGNATED AND SHOWN ON THE ACCOMPANYING PLAT AS STORM WATER DETENTION EASEMENT AND OVERLAND DRAINAGE EASEMENT FOR THE PURPOSES OF PERMITTING EITHER THE FLOW, CONVEYANCE, RETENTION, DETENTION AND OR DISCHARGE OF STORM WATER RUNOFF FROM THE LOT AND FROM ADJACENT PROPERTIES NOT INCLUDED WITHIN THE LOT.

2. DETENTION, RETENTION AND OTHER DRAINAGE FACILITIES LOCATED WITHIN THE OVERLAND DRAINAGE EASEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS APPROVED BY THE CITY OF GLENPOOL, OKLAHOMA.

3. NO FENCE, WALL, BUILDING, OR OTHER OBSTRUCTION SHALL BE PLACED OR MAINTAINED IN THE OVERLAND DRAINAGE EASEMENT NOR SHALL THERE BE ANY ALTERATION OF GRADE IN SAID OVERLAND DRAINAGE EASEMENT UNLESS APPROVED BY THE CITY OF GLENPOOL, OKLAHOMA.

4. DETENTION, RETENTION AND OTHER DRAINAGE FACILITIES SHALL BE MAINTAINED BY THE OWNER PROVIDED FOR WITHIN SECTION II HEREOF, TO THE EXTENT NECESSARY TO ACHIEVE THE INTENDED DRAINAGE, RETENTION AND DETENTION FUNCTIONS INCLUDING REPAIR OF APPURTENANCES AND REMOVAL OF OBSTRUCTIONS AND SILTATION AND THE OWNER SHALL PROVIDE CUSTOMARY GROUNDS MAINTENANCE IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS:

4.1 GRASS AREAS SHALL BE MOWED (IN SEASON) AT REGULAR INTERVALS OF FOUR WEEKS, OR LESS.

4.2 CONCRETE APPURTENANCES SHALL BE MAINTAINED IN GOOD CONDITION AND REPLACED IF DAMAGED.

4.3 CLEANING OF SILTATION AND VEGETATION FROM CONCRETE CHANNELS SHALL BE PERFORMED TWICE YEARLY.

5. LANDSCAPING, APPROVED BY THE CITY OF GLENPOOL, OKLAHOMA, SHALL BE ALLOWED WITHIN THE OVERLAND DRAINAGE EASEMENT.

6. IN THE EVENT THE OWNER SHOULD FAIL TO PROPERLY MAINTAIN THE DETENTION, RETENTION AND OTHER DRAINAGE FACILITIES OR, IN THE EVENT OF THE PLACEMENT OF AN OBSTRUCTION WITHIN, OR THE ALTERATION OF GRADE WITHIN THE OVERLAND DRAINAGE EASEMENT, THE CITY OF GLENPOOL, OKLAHOMA, OR ITS DESIGNATED CONTRACTOR MAY ENTER AND PERFORM MAINTENANCE NECESSARY TO ACHIEVE THE INTENDED DRAINAGE FUNCTIONS AND MAY REMOVE ANY OBSTRUCTION OR CORRECT ANY ALTERATION OF GRADE, AND THE COSTS THEREOF SHALL BE PAID BY THE OWNER. IN THE EVENT THE OWNER FAILS TO PAY THE COSTS OF MAINTENANCE AFTER COMPLETION OF THE MAINTENANCE AND RECEIPT OF A STATEMENT OF COSTS, THE CITY OF GLENPOOL, OKLAHOMA MAY FILE OF RECORD A COPY OF THE STATEMENT OF COSTS IN THE LAND RECORDS OF THE TULSA COUNTY CLERK, AND THEREAFTER THE COSTS SHALL BE A LIEN AGAINST THE LOT. A LIEN ESTABLISHED AS ABOVE PROVIDED MAY BE FORECLOSED BY THE CITY OF GUENPOOL, OKLAHOMA.

SECTION II. ENFORCEMENT, DURATION, AMENDMENT AND SEVERABILITY

A. ENFORCEMENT

THE RESTRICTIONS HEREIN SET FORTH ARE COVENANTS TO RUN WITH THE LAND AND SHALL BE BINDING UPON THE OWNER, ITS SUCCESSORS AND ASSIGNS. THE COVENANTS AND THE ENFORCEMENT RIGHTS PERTAINING THERETO, SHALL INURE TO THE BENEFIT OF ANO SHALL BE ENFORCEABLE BY THE CITY OF GLENPOOL, OKLAHOMA. THE COVENANTS SHALL INURE TO THE BENEFIT OF ANY OWNER OF THE LOT, ITS SUCCESSORS AND ASSIGNS.

B. DURATION
THESE RESTRICTIONS, TO THE EXTENT PERMITTED BY APPLICABLE LAW, SHALL BE PERPETUAL BUT IN ANY EVENT SHALL BE IN FORCE AND EFFECT FOR A TERM OF NOT LESS THAN THIRTY (30) YEARS FROM THE DATE OF THE RECORDING OF THIS DEED OF DEDICATION UNLESS TERMINATED OR AMENDED AS HEREINAFTER PROVIDED.

C. AMENDMENT
THE COVENANTS CONTAINED WITHIN SECTION I. EASEMENTS AND UTILITIES MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNER OF THE LAND TO WHICH THE AMENDMENT OR TERMINATION IS TO BE APPLICABLE AND APPROVED BY THE GLENPOOL PLANNING COMMISSION, OR ITS SUCCESSORS, AND THE CITY OF GLENPOOL, OKLAHOMA. THE PROVISIONS OF ANY INSTRUMENT AMENDING OF TERMINATING COVENANTS AND RESTRICTIONS SHALL BE EFFECTIVE FROM AND AFTER THE DATE IT IS PROPERLY RECORDED.

D. SEVERABILITY
INVALIDATION OF ANY RESTRICTION SET FORTH HEREIN, OR ANY PART THEREOF, BY AN ORDER, JUDGMENT, OR DECREE OF ANY COURT, OR OTHERWISE, SHALL NOT INVALIDATE OR AFFECT ANY OF THE OTHER RESTRICTIONS OR ANY PART THEREOF AS SET FORTH HEREIN, WHICH SHALL REMAIN IN FULL FORCE AND EFFECT.

IN WITNESS WHEREOF, GLENPOOL PUBLIC SCHOOLS DISTRICT I-13 HAS EXECUTED THIS INSTRUMENT ON THIS ____ DAY OF _____, 201__.

GLENPOOL PUBLIC SCHOOLS DISTRICT I-13

BY: _____
JERRY OLANSEN, SUPERINTENDENT

STATE OF OKLAHOMA)
) SS
COUNTY OF TULSA)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS ____ DAY OF _____, 201__ BY

MY COMMISSION EXPIRES: _____, NOTARY

FINAL PLAT CONFORMATION OR APPROVAL
CITY PLANNING COMMISSION APPROVAL

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE GLENPOOL PLANNING COMMISSION ON

CHAIRMAN, VICE CHAIRPERSON OR SECRETARY

CITY COUNCIL APPROVAL

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE GLENPOOL CITY COUNCIL ON

MAYOR OR VICE MAYOR

CITY MANAGER APPROVAL

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE GLENPOOL CITY MANAGER ON

CITY MANAGER

THIS APPROVAL SHALL NOT BE INTERPRETED TO MEAN STREETS, WATER LINES, SANITARY SEWERS, STORM DRAINAGE OR OTHER UTILITIES ARE CONSTRUCTED AS SHOWN ON THIS PLAT.

CERTIFICATE OF SURVEY

I, RUSSELL M. MUZIKA, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF OKLAHOMA, DO HEREBY CERTIFY THAT I HAVE CAREFULLY AND ACCURATELY SURVEYED, SUBDIVIDED, AND PLATTED THE TRACT OF LAND DESCRIBED ABOVE, AND THAT THE ACCOMPANYING PLAT IN THE CITY OF GLENPOOL, TULSA COUNTY, STATE OF OKLAHOMA, IS A REPRESENTATION OF THE SURVEY MADE ON THE GROUND USING GENERALLY ACCEPTED PRACTICES AND MEETS OR EXCEEDS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING.

WITNESS MY HAND AND SEAL THIS ____ DAY OF _____, 2017.

TO: Glenpool Planning Commission

FROM: Rick Malone, City Planner

RE: Site Plan Review: SP-2017-06: (Glenpool Public School)

DATE: December 11, 2017

BACKGROUND:

Glenpool Public School is requesting Site Plan approval in order to allow construction of an 50,000 square foot building on 15.89 acres located at the southeast corner of 138th Pl. and Elwood Ave. This entire property is zoned CS (Commercial Shopping)

PROPERTY CHARACTERISTICS:

The proposed use (Use Unit #5 School) is allowed in the CS zoning district by right. The subject tract is being platted as Lot 1, Block 1 Glenpool Public School which the preliminary plat was approved by the Planning Commission on 1/9/17, the final plat is on the agenda for 12/11/17 and if approved, it is being heard on the City Council agenda for 12/12/17.

- The applicant is requesting a waiver of the Subdivision Regulation requiring the installation of sidewalks on Elwood Ave and 141st Street as indicated by section:

"12-5-3: SIDEWALKS: C. Sidewalks shall be required on either side of all primary and secondary arterial streets".

Both Elwood Ave and 141st Street are designated as secondary arterial streets by the Glenpool Major Street and Highway Plan.

SITE PLAN REVIEW:

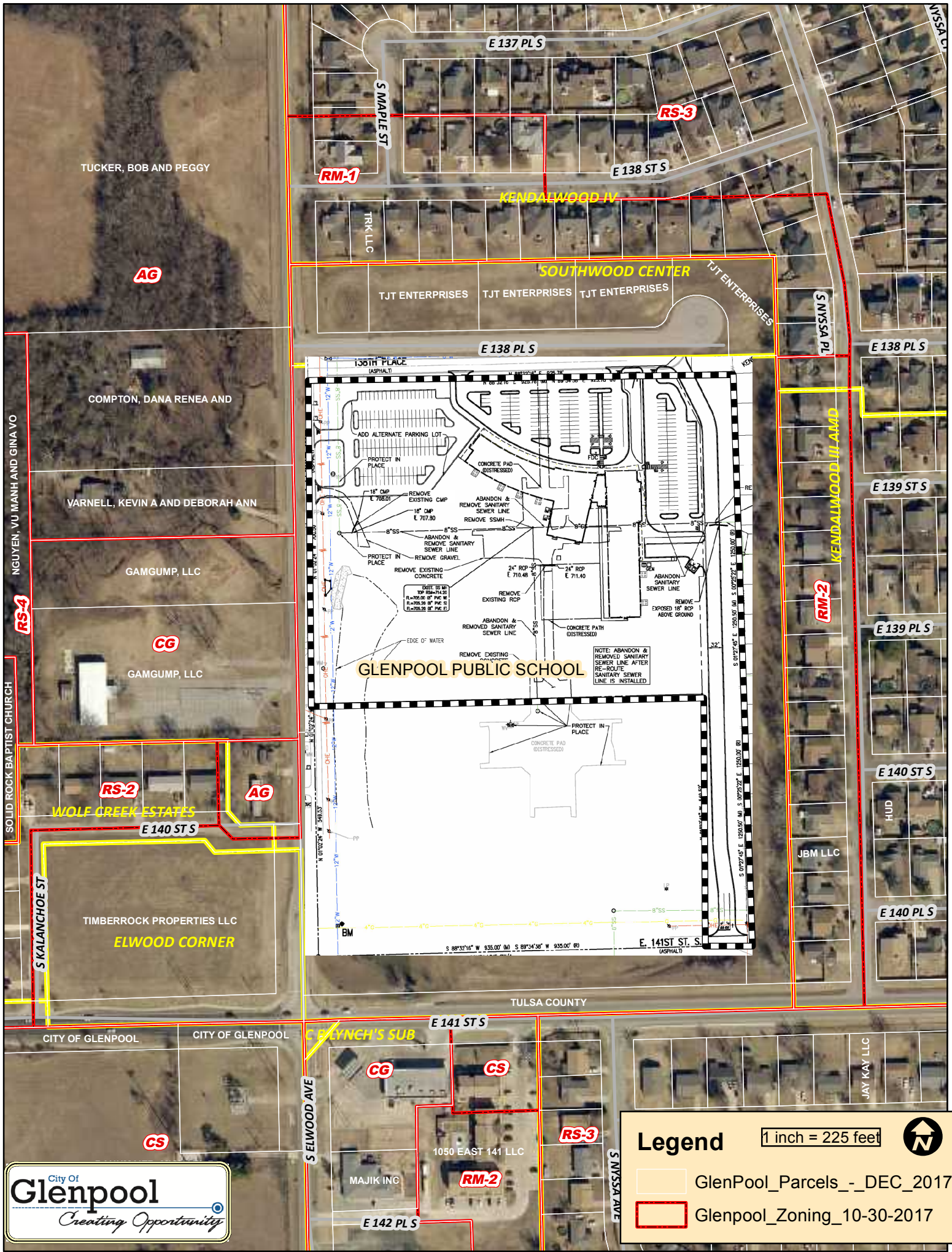
- The staff has reviewed the parking provisions of the site plan and they exceed the minimum standards.
- The staff has required that the applicant provide a landscape plan that meets the Glenpool Zoning criteria and approved by staff before a Certificate of Occupancy will be issued.
- The utility plans were reviewed at the TAC meeting and all necessary utilities and easements are adequate to service this site.
- On 12/11/17, the Technical Advisory Committee reviewed the site plan per the subdivision regulations and found that they meet the requirements.
- Sign permit is required to be submitted for all site and building signage by the applicant before installation of any signage.

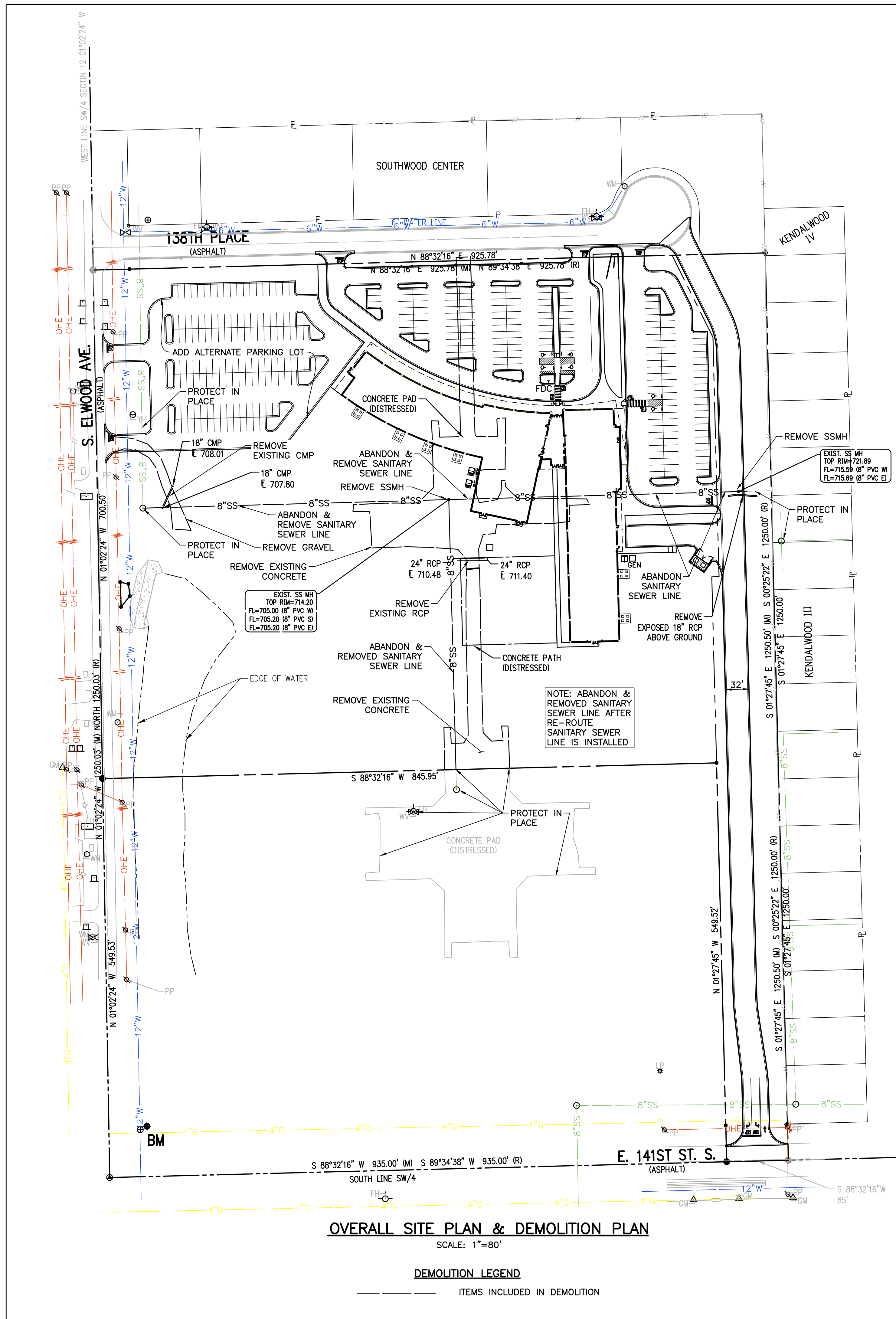
STAFF RECOMMENDATION:

The staff recommends approval of the site plan : SP-2017-06: (Glenpool Public School) per TAC and Staff comments listed above.

ATTACHMENTS:

- 1) Case Map
- 2) Site Plan





EROSION CONTROL

ALL DISTURBED AREAS THAT ARE NOT PAVED, OR BUILDING PADS, SHALL BE LANDSCAPED OR REVEGETATED WITH A TEMPORARY OR PERMANENT COVER, DEPENDING ON THE PLANTING SEASON, AS OUTLINED BELOW.

PLANT	PER ACRE	TEMPORARY COVER		PLANTING DATE	DEPTH OF SEEDING
		PER 1000 SQ.FT.	PER 1000 SQ.FT.		
ANNUAL RYEGRASS	220 LBS.	5.0 LBS.		9/01-11/30	1/4 INCH
WHEAT	130 BU.	3.0 LBS.		8/15-11/30	2 INCH
		PERMANENT COVER			
PLANT	PER ACRE	PER 1000 SQ.FT.	PLANTING DATE	DEPTH OF SEEDING	
BERMUDA GRASS	85 LBS.	2.0 LBS.	8/15-08/15	0 - 1/2 INCH	
FESCUE	350 LBS.	8.0 LBS.	9/01-11/01	0 - 1/2 INCH	

- PERMANENT PRACTICES:
- ALL GRADING SHALL BE COMPLETE PRIOR TO PLACING SOD.
 - THE SUBGRADE SHALL BE LOOSENEED EVENLY TO A DEPTH OF 2 TO 3 INCHES AND 10-20-10 FERTILIZER (10 POUNDS PER 1000 SQUARE FEET OR 450 POUNDS PER ACRE) SHALL BE MIXED WITH THE LOOSENEED SURFACE SOIL BY DISCING OR OTHER SUITABLE MEANS.
 - SOILS KNOWN TO BE HIGHLY ACIDIC SHALL BE LIME TREATED.
 - THE AREA SHALL BE WATERED REGULARLY TO MAINTAIN ADEQUATE SOIL MOISTURE UNTIL PROPER GROWTH IS ESTABLISHED AND AT LEAST 70% STABILIZED..

GRADING NOTES:

- NEW CONTOURS DENOTE TOP OF FINISHED PAVING OR GRADED AREA AS INDICATED. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE, UNLESS NOTED OTHERWISE.
- ADJUST ALL CLEAN OUT RIMS, MANHOLE COVERS, AND VALVE AND METER BOXES TO FINISHED GRADE.
- NOTIFY ENGINEER IF EXISTING GROUND CONDITIONS VARY FROM THOSE SHOWN ON PLANS.
- THE CONTRACTOR SHALL GRADE ALL AREAS TO POSITIVELY DRAIN AWAY FROM BUILDINGS.
- THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES. ANY DAMAGED UTILITIES CAUSED BY THE CONSTRUCTION OPERATIONS SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DEWATER AND STABILIZE ANY SOFT SOILS AS NEEDED TO REACH OPTIMUM SOIL CONDITIONS.
- ALL DISTURBED AREAS SHALL BE SODDED. CONTRACTOR SHALL BE RESPONSIBLE UNTIL GROWTH IS ESTABLISHED.
- STRIPPINGS SHALL BE STOCKPILED OR WINDROWED ON SITE IN AREAS DESIGNATED BY OWNER, AND RE-SPREAD AS DIRECTED BY OWNER AFTER GRADING IS COMPLETE. TOPSOIL SHALL BE SPREAD TO A DEPTH NOT EXCEEDING 6 INCHES AND COORDINATED WITH THE LANDSCAPE PLANS AND SPECIFICATIONS.
- CLEARING AND TREE REMOVAL WILL BE PERFORMED AS PART OF THE UNIT PRICE FOR EXCAVATION AND EMBANKMENT, AND SHALL INCLUDE GRUBBING ROOTS AND VEGETATION AS MAY BE NECESSARY.
- ROUGH GRADING CONTRACTOR SHALL STOCKPILE TOPSOIL FOR LANDSCAPE CONTRACTOR'S USE AND BENEFIT. LANDSCAPE CONTRACTOR SHALL USE AND/OR DISPOSE OF REMAINING TOPSOIL STOCKPILE.
- CONTRACTOR SHALL PROVIDE WATER AS REQUIRED TO OBTAIN SPECIFIED COMPACTION.
- DENSITY TESTING WILL BE PROVIDED BY THE OWNER. ANY FAILING TEST SHALL BE RE-TESTED AT THE CONTRACTOR'S EXPENSE UNTIL PASSING TESTS ARE OBTAINED.
- THE EARTHWORK CONTRACTOR IS ULTIMATELY RESPONSIBLE TO IMPORT OR EXPORT MATERIAL AS NECESSARY TO ACHIEVE THE GRADES SHOWN ON THE CIVIL ENGINEER'S DOCUMENTS.
- CONTRACTOR SHALL BE OBLIGATED TO KEEP DUST AT A MINIMUM AS REQUIRED BY OWNER.
- ANY FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 6" AND SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.

UTILITY NOTES:

- ELECTRIC AND IRRIGATION LINES CONDUITS AND SLEEVES SHALL BE SCHEDULE 80 PVC.
- THE FOLLOWING IS A MINIMUM DEPTH OF COVER OVER THE UTILITY PIPES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE COVER WITH THE JURISDICTIONAL AUTHORITIES: WATER - 42", SANITARY - 36".
- EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN AND LOCATIONS HAVE BEEN VERIFIED BY THE OWNERS OF SAID LINES. THE EXACT LOCATIONS AND NOTIFICATIONS OF THE PROPER AGENCY IS THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND MAINTAIN VIABLE TRENCH SAFETY SYSTEM AT ALL TIMES.
- THE CONTRACTOR SHALL COORDINATE WITH THE CITY FOR INSPECTION OF PRIVATE WATER AND SEWER CONNECTION.
- ALL BENDS FOR ELECTRIC SERVICE SHALL BE 48" RADIUS GALVANIZED STEEL COATED WITH ASPHALT COMPOUND.
- CONTRACTOR TO COORDINATE THE INSTALLATION OF UTILITY SERVICE WITH UTILITY COMPANIES, BEFORE THE INSTALLATION OF PAVEMENT, SIDEWALKS, CURB & GUTTER, AND OTHER PERMANENT FEATURES.
- THE UTILITY CONTRACTOR SHALL REMOVE EXCESS TRENCHING MATERIAL FROM THE SITE OR STOCKPILE ACCEPTABLE MATERIAL FOR ROUGH GRADING CONTRACTOR'S USE AND BENEFIT.
- CONTRACTOR SHALL COORDINATE AND PROVIDE ALL STAKING NECESSARY TO INSTALL CONDUITS SUFFICIENT FOR UTILITY AND IRRIGATION SERVICES WHETHER OR NOT SHOWN ON THE CIVIL ENGINEER'S PLANS.

SEDIMENTATION & EROSION CONTROL NOTES

- ALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE EXECUTION OF ANY DEMOLITION OR GRADING WORK AND SHALL BE MAINTAINED BY THE GRADING CONTRACTOR FOR THE DURATION OF THE PROJECT.
- SEDIMENT FILTER, SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCES SHALL BE CONSTRUCTED PER LOCAL JURISDICTIONAL REQUIREMENTS.
- SEDIMENT COLLECTED BEHIND THE SEDIMENT FILTERS AND SILT FENCES SHALL BE REMOVED WHEN SEDIMENT REACHES ONE THIRD THE HEIGHT OF THE BARRIER.
- SEDIMENT FILTERS AND SEDIMENT FENCES SHALL BE INSPECTED AND MAINTAINED NO LESS THAN WEEKLY OR WITHIN 24 HOURS OF A RAINFALL EVENT OF 0.5 INCHES OR MORE. MAINTENANCE SHALL INCLUDE BUT NOT LIMITED TO SEDIMENT REMOVAL, BARRIER REPAIR AND/OR REPLACEMENT.
- CONSTRUCTION SITE ENTRANCE: THE CONTRACTOR SHALL CONSTRUCT AS A MINIMUM ONE STABILIZED CONSTRUCTION ENTRANCE. IF ADDITIONAL INGRESS OR EGRESS TO THE CONSTRUCTION SITE IS REQUIRED, THE CONTRACTOR SHALL COORDINATE WITH THE CONSTRUCTION MANAGER THE LOCATION OF THESE ADDITIONAL STABILIZED CONSTRUCTION ENTRANCES. USAGE OF NON-STABILIZED POINTS FOR INGRESS AND EGRESS WILL NOT BE PERMITTED. THE STABILIZED ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY AND PAVED DRIVING LANES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS WARRANT. REPAIR OF THE ENTRANCE(S) OR CLEANING OF THE RIGHT-OF-WAY AND PAVED DRIVING LANES THAT HAVE BEEN SOILED SHALL BE PERFORMED BY THE CONTRACTOR AT HIS OWN EXPENSE, SATISFACTORY TO THE CONSTRUCTION MANAGER. WHEN NECESSARY, VEHICLE WHEELS AND TIRES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING ONTO PUBLIC RIGHT-OF-WAY AND PUBLIC STREETS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE.
- THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PERIODICALLY WATER THE SITE TO CONTROL DUST.
- SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED FOLLOWING CONSTRUCTION OR UPON PERMANENT STABILIZATION OF THE DISTURBED AND GRADED AREAS, WHICHEVER OCCURS LAST.
- CONSTRUCTION ENTRANCE/WASHING STATION SHALL BE THE FIRST CONSTRUCTION WORK ON THE PROJECT.
- INSTALL SEDIMENT BARRIERS DOWN SLOPE FROM CONSTRUCTION ACTIVITIES THAT DISTURB SITE SOIL.
- CONSTRUCT ROCK SURFACE FOR TEMPORARY PARKING, IF NEEDED.
- EXCAVATION AND EMBANKMENT SHALL BE USED TO FORM THE BUILDING PAD AND PAVEMENT AREAS.
- UNDERGROUND UTILITIES - SEDIMENT BARRIERS WILL BE UTILIZED AS REQUIRED TO BOUND THE DOWN SLOPE SIDE OF UTILITY CONSTRUCTION AND SOIL STOCKPILES.
- FINAL GRADING - SEDIMENT BARRIERS WILL BE MAINTAINED DOWN SLOPE FROM DISTURBED SOIL DURING THIS OPERATION AND REMOVED UPON COMPLETION OF ON-SITE STABILIZATION.
- THE ACTUAL SCHEDULE FOR IMPLEMENTING POLLUTANT CONTROL MEASURES WILL BE DETERMINED BY PRETERMINED CONSTRUCTION PROGRESS. DOWN SLOPE PROTECTIVE MEASURES MUST ALWAYS BE IN PLACE BEFORE SOIL IS DISTURBED.

SITE PLAN NOTES

- ALL DIMENSIONS ARE TO THE TO THE FACE OF CURB, AND ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL KEEP THE SITE CLEAN DURING CONSTRUCTION AND SUPPLY CONSTRUCTION CONTAINERS OR DUMPSTERS TO MAINTAIN ALL TRASH AND DEBRIS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- REFER TO ELECTRICAL PLANS FOR SITE LIGHTING DETAILS.
- ALL PAVING MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY AND DEPARTMENT OF TRANSPORTATION STANDARD DRAWINGS AND SPECIFICATIONS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM THE ACCURACY AND LOCATION OF SITE BOUNDARY AND DIMENSIONS. ANY DISCREPANCIES DISCOVERED BETWEEN FIELD VERIFIED LOCATIONS AND PLAN LOCATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD FOR RESOLUTION PRIOR TO PROCEEDING.
- SURVEY INFORMATION PROVIDED BY OWNER.

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS.
- EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN. THE EXACT LOCATIONS AND NOTIFICATIONS OF THE PROPER AGENCY IS THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY WORK ORDERS AND PERMITS FROM THE CITY, INCLUDING PROVISIONS OF BONDS AND INSURANCE AS REQUIRED.
- ALL WASTE OR SPOIL SHALL BE TAKEN TO A CITY APPROVED SITE OR SPREAD IN AREAS OUTSIDE OF THE STREET RIGHTS-OF-WAY AS DIRECTED BY THE OWNER AND ENGINEER.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES DUE TO CONSTRUCTION TRAFFIC OR OPERATIONS.
- CONTRACTOR TO SUPPLY TEMPORARY CHAIN LINK FENCING FOR THIS PROJECT, AS REQUIRED BY OWNER.
- CIVIL ENGINEER WILL NOT INTERPRET SOILS REPORTS OR ACCEPT RESPONSIBILITY FOR ALTERNATIVE METHODS PROPOSED BY THE CONTRACTOR.
- GENERAL CONTRACTOR SHALL MONITOR INSTALLATION OF SERVICE PEDESTALS AND SHALL ACCEPT CONDITION OF THE WORK BY OTHERS, AND SHALL BE RESPONSIBLE TO EMPLOY CONTRACTORS AS NECESSARY TO CORRECT POOR WORKMANSHIP.
- CORRECTIVE MEASURES DIRECTED BY THE ENGINEER MAY INCLUDE COMPLETE REMOVAL AND REPLACEMENT AT NO COST TO OWNER IN CASES OF POOR WORKMANSHIP OR UNSATISFACTORY IN-PLACE CONDITIONS.
- CONTRACTOR AND ALL RELATED CONSTRUCTION ACTIVITIES ARE REQUIRED TO MAINTAIN NORMAL NOISE LEVELS AND ALL EQUIPMENT AND VEHICLES ARE REQUIRED TO BE PROPERLY MUFFLED.

DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A DEMOLITION PERMIT FROM THE CITY. PRIOR TO STARTING DEMOLITION ACTIVITIES, CONTRACTOR SHALL PAY ALL COSTS ASSOCIATED WITH DEMOLITION PERMIT.
- CONTRACTOR SHALL CONFORM WITH ALL APPLICABLE CODES (LOCAL, STATE AND FEDERAL) FOR DEMOLITION, DUST CONTROL, EROSION CONTROL AND DISPOSAL OF DEMOLITION MATERIAL AND DEBRIS.
- CONTRACTOR SHALL NOTIFY OWNER AND DESIGN TEAM AT ANY DISCREPANCIES IN SURVEY PRIOR TO TERMINATING AND DEMOLISHING UTILITIES.

LEGEND:

EXISTING CONTOUR	---	615
PROPOSED CONTOUR	---	615
PROPERTY LINE	---	
FIRE WATER LINE	---	WL
WATER LINE	---	WL
SANITARY SEWER LINE	---	SS
COMMUNICATIONS CONDUIT	---	UC
GAS LINE	---	UG
ELECTRIC CABLE	---	UE
STORM DRAIN PIPE	---	SD
SANITARY SEWER CLEANOUT	---	oCO
DOWNSPOUT	---	DS
IRRIGATION SLEEVE	---	
SITE LIGHTING, RE: ELECTRIC PLANS	---	
SILT FENCE	---	
CONSTRUCTION ENTRANCE	---	
INLET SEDIMENT TRAP	---	
FLOW DIRECTION	---	
SILT DIKE	---	
PROPOSED 6" CURB & GUTTER	---	
LANDSCAPE/SOD AREA, RE: LANDSCAPE PLANS	---	LS
PARKING SPACES	---	#
FIRE DEPARTMENT CONNECTION	---	FDC
TRANSFORMER	---	T
GENERATOR	---	GEN
FIRE HYDRANT	---	

ADDRESS:

1150 E. 138TH PLACE,
GLENPOOL, OKLAHOMA

IMPERVIOUS TABLE CHART

TOTAL DISTURBED AREA	15 AC.
PRESENT IMPERVIOUS AREA	36,004 SQ. FT.
INCREASED IMPERVIOUS AREA	160,560 SQ. FT.
TOTAL IMPERVIOUS AREA	196,571 SQ. FT.

* EXCLUDING ADD ALTERNATE PARKING AREA



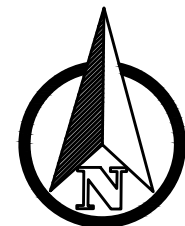
TULSA

110 WEST SEVENTH
SUITE 710
TULSA, OK 74119
T: 918.583.5800
F: 918.585.1987

OKLAHOMA CITY

131 DEAN A. MCBEE AVE.
SUITE 135
OKLAHOMA CITY, OK 73102

PROJECT:
GLENPOOL
PUBLIC
SCHOOLS -
LOWER
ELEMENTARY



80 40 0 80
SCALE 1" = 80'

PROJECT NUMBER:

16019

CONSULTANT:

WALTER P MOORE

WALTER P. MOORE AND ASSOCIATES, INC.
7608 EAST 61ST STREET
SUITE 251
TULSA, OKLAHOMA 74133
PHONE: 918.808.7200 FAX: 918.808.7250

REVISIONS:

No	Description	Date
1	SITE PLAN REVIEW	12.6.17

SEAL:

INTERIM REVIEW ONLY

Document incomplete: Not intended for permit or construction.

Engineer: DAVID SHELTON

P.E. Serial No.: 28900

Date: DECEMBER 06, 2017

Water P. Moore and Associates, Inc.

ISSUE DATE:

10.30.2017

SHEET NUMBER:

C3

OVERALL SITE
PLAN, DEMOLITION
PLAN & GENERAL
NOTES

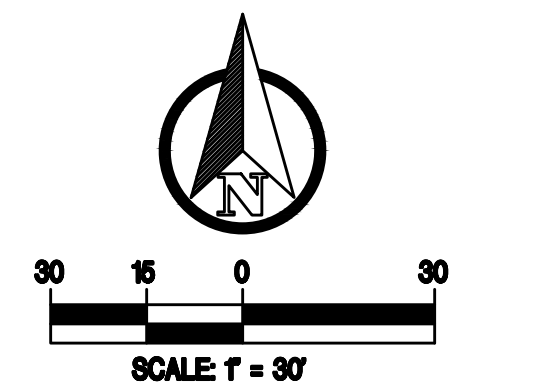




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OKLAHOMA CITY
131 DENVA MCSBEE AVE.
SUITE 135
OKLAHOMA CITY, OK 73102

PROJECT:
**GLENPOOL
PUBLIC
SCHOOLS -
LOWER
ELEMENTARY**



PROJECT NUMBER:
16019

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WALTER P. MOORE AND ASSOCIATES, INC.
7608 EAST 81ST STREET
SUITE 251
TULSA, OKLAHOMA 74133
PHONE: 918.808.7200 FAX: 918.806.7250

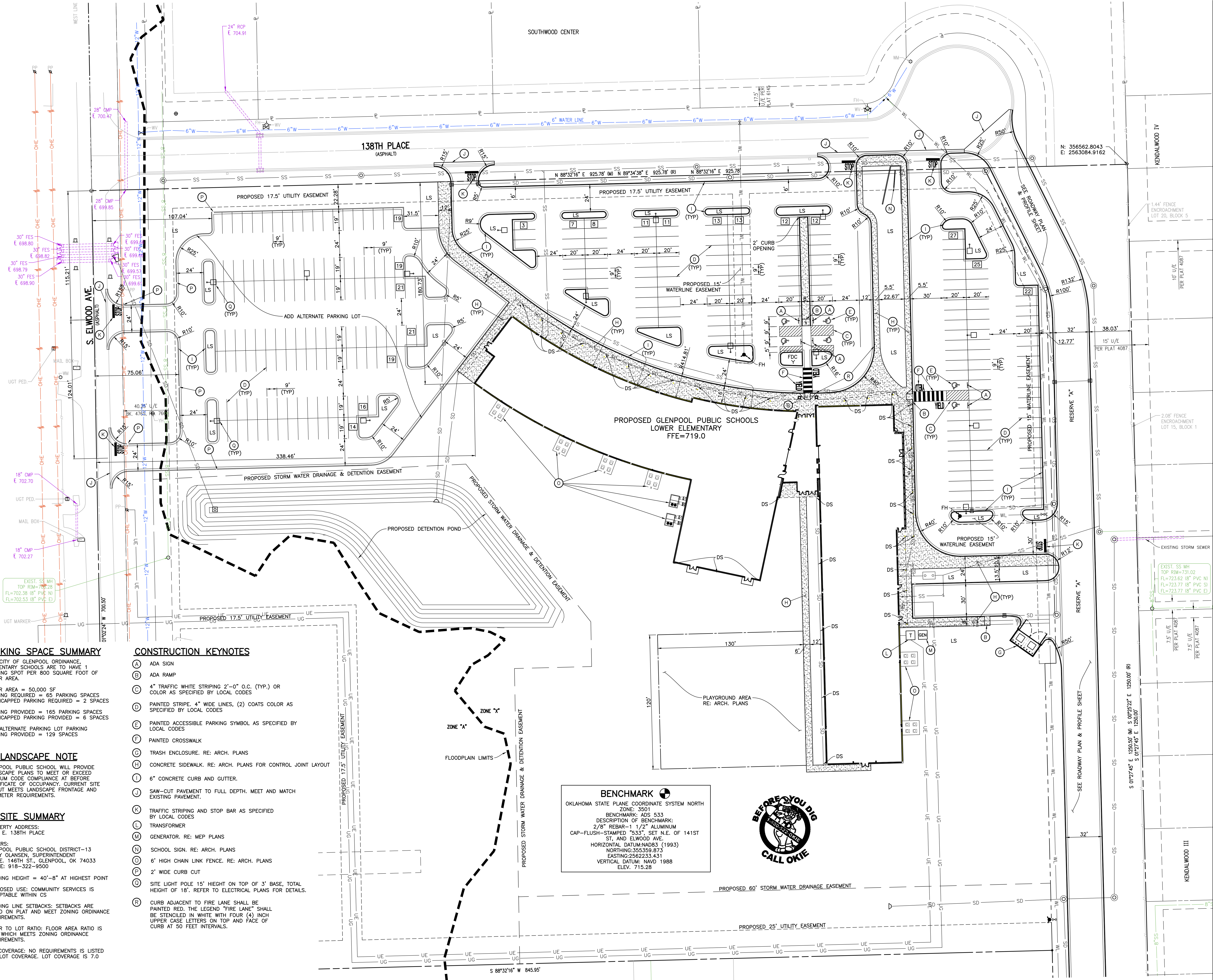
REVISIONS:		
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1	SITE PLAN REVIEW	12.6.17

SEAL:
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Engineer: **DAVID SHELTON**
P.E. Serial No.: 28900
Date: **DECEMBER 06, 2017**
Walter P. Moore and Associates, Inc.

ISSUE DATE:
10.30.2017

SHEET NUMBER:

C4
SITE PLAN



PARKING SPACE SUMMARY

PER CITY OF GLENPOOL ORDINANCE,
ELEMENTARY SCHOOLS ARE TO HAVE 1
PARKING SPOT PER 800 SQUARE FOOT OF
FLOOR AREA.

FLOOR AREA = 50,000 SF
PARKING REQUIRED = 65 PARKING SPACES
HANDICAPPED PARKING REQUIRED = 2 SPACES

PARKING PROVIDED = 165 PARKING SPACES
HANDICAPPED PARKING PROVIDED = 6 SPACES

ADD ALTERNATE PARKING LOT PARKING
PARKING PROVIDED = 129 SPACES

LANDSCAPE NOTE

GLENPOOL PUBLIC SCHOOL WILL PROVIDE
LANDSCAPE PLANS TO MEET OR EXCEED
MINIMUM CODE COMPLIANCE AT BEFORE
CERTIFICATE OF OCCUPANCY. CURRENT SITE
LAYOUT MEETS LANDSCAPE FRONTAGE AND
PERIMETER REQUIREMENTS.

SITE SUMMARY

PROPERTY ADDRESS:
1140 E. 138TH PLACE

OWNERS:
GLENPOOL PUBLIC SCHOOL DISTRICT-13
JERRY OLANSEN, SUPERINTENDENT
481 E. 146TH ST., GLENPOOL, OK 74033
PHONE: 918-322-9500

BUILDING HEIGHT = 40'-8" AT HIGHEST POINT

PROPOSED USE: COMMUNITY SERVICES IS
ACCEPTABLE WITHIN CS

BUILDING LINE SETBACKS: SETBACKS ARE
LISTED ON PLAN AND MEET ZONING ORDINANCE
REQUIREMENTS.

FLOOR TO LOT RATIO: FLOOR AREA RATIO IS
0.07 WHICH MEETS ZONING ORDINANCE
REQUIREMENTS.

LOT COVERAGE: NO REQUIREMENTS IS LISTED
FOR LOT COVERAGE. LOT COVERAGE IS 7.0

CONSTRUCTION KEYNOTES

- (A) ADA SIGN
- (B) ADA RAMP
- (C) 4" TRAFFIC WHITE STRIPING 2'-0" O.C. (TYP.) OR
COLOR AS SPECIFIED BY LOCAL CODES
- (D) PAINTED STRIPE. 4" WIDE LINES, (2) COATS COLOR AS
SPECIFIED BY LOCAL CODES
- (E) PAINTED ACCESSIBLE PARKING SYMBOL AS SPECIFIED BY
LOCAL CODES
- (F) PAINTED CROSSWALK
- (G) TRASH ENCLOSURE. RE: ARCH. PLANS
- (H) CONCRETE SIDEWALK. RE: ARCH. PLANS FOR CONTROL JOINT LAYOUT
- (I) 6" CONCRETE CURB AND GUTTER.
- (J) SAW-CUT PAVEMENT TO FULL DEPTH. MEET AND MATCH
EXISTING PAVEMENT.
- (K) TRAFFIC STRIPING AND STOP BAR AS SPECIFIED
BY LOCAL CODES
- (L) TRANSFORMER
- (M) GENERATOR. RE: MEP PLANS
- (N) SCHOOL SIGN. RE: ARCH. PLANS
- (O) 6' HIGH CHAIN LINK FENCE. RE: ARCH. PLANS
- (P) 2' WIDE CURB CUT
- (Q) SITE LIGHT POLE 15' HIGHT ON TOP OF 3' BASE, TOTAL
HEIGHT OF 18'. REFER TO ELECTRICAL PLANS FOR DETAILS.
- (R) CURB ADJACENT TO FIRE LANE SHALL BE
PAINTED RED. THE LEGEND "FIRE LANE" SHALL
BE STENCILED IN WHITE WITH FOUR (4) INCH
UPPER CASE LETTERS ON TOP AND FACE OF
CURB AT 50 FEET INTERVALS.

BENCHMARK
OKLAHOMA STATE PLANE COORDINATE SYSTEM NORTH
ZONE: 3501
BENCHMARK: ADS 533
DESCRIPTION OF BENCHMARK:
2/8" REBAR-1 1/2" ALUMINUM
CAP-FLUSH-STAMPED "533". SET N.E. OF 141ST
ST. AND ELWOOD AVE.
HORIZONTAL DATUM: NAD83 (1993)
NORTHING: 355359.873
EASTING: 2562233.431
VERTICAL DATUM: NAVD 1988
ELEV. 715.28





Date: December 11, 2017

To: Planning Commission/Board of Adjustment

From: Rick Malone, City Planner

Re: 2018 Meeting Schedule

Background

Per Oklahoma Open Meetings Act O.S.25 § 311(A)(1), all public bodies shall give notice in writing by December 15 of each calendar year of the schedule of the regularly scheduled meetings for the following year.

Attached

- 2018 Meeting Calendar

2018 CALENDAR YEAR
SCHEDULE OF REGULAR MEETINGS
PLANNING COMMISSION/BOARD OF ADJUSTMENT

DATE	TIME	PLACE
Tuesday, January 09, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, February 12, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, March 12, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, April 09, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, May 14, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, June 11, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, July 09, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, August 13, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, September 10, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, October 08, 2018	6:30 P.M.	GLENPOOL CITY HALL
Wednesday, November 14, 2018	6:30 P.M.	GLENPOOL CITY HALL
Monday, December 10, 2018	6:30 P.M.	GLENPOOL CITY HALL

Meetings held at:

GLENPOOL CITY HALL, 3rd Floor, City Council Chambers, 12205 S Yukon Ave., Glenpool Oklahoma